



**Ravine & Natural Feature Protection Bylaw Note**

The Ravine & Natural Feature Protection Bylaw, Chapter 658 of the City of Toronto Municipal Code regulates the injury and destruction of trees, dumping of refuse and changes to grade within protected areas defined in Schedule A.

Under this bylaw protected trees may not be removed, injured or destroyed, and protected grades may not be altered, without written authorisation from Urban Forestry Ravine & Natural Feature Protection, on behalf of the General Manager of Parks, Forestry & Recreation.

Convictions of offences respecting the regulations in the Ravine & Natural Feature Protection Bylaw are subject to fines, and the landowner may be ordered by the court to restore the area to the satisfaction of the City. A person convicted of an offence under this Bylaw is liable to a minimum fine of \$500 and a maximum fine of \$100,000 for each tree destroyed, a maximum fine of \$100,000 for any other offence committed under this chapter, and/or a Special fine of \$100,000. A person convicted of a continuing offence, including failure to comply with ravine permit conditions is liable to a maximum fine of not more than \$10,000 for each day or part of a day that the offence continues.



**DRAWING LIST**

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- A1.1 Survey
- A1.2 Site Plan and Survey
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- A3.0 First Floor
- A4.0 Second Floor
- A6.0 Front Elevation (East)
- A7.0 Rear Elevation (West)
- A8.0 Side Elevation (North)
- A9.0 Side Elevation (South)
- A10.0 Section A
- A11.0 Section B
- A12.0 Section C
- A13.0 Section D
- A14.0 3d First Floor
- A15.0 3d Second Floor
- A16.0 Kitchen
- A17.0 Living Room

**SITE STATISTICS**

Lot Area	4655.94 sf	(432.54) sm
Ground Floor Existing	616.00 sf	(57.23) sm
Ground Floor New	459.00 sf	(42.64) sm
Second Floor Existing	616.00 sf	(57.23) sm
Second Floor New	420.00 sf	(39.02) sm
Gross Floor Area (GFA)	2111.00 sf	(196.11) sm
GFA / Lot Area	45.34 %	
Area of New Work	879.00 sf	(81.66) sm

**ZONING**

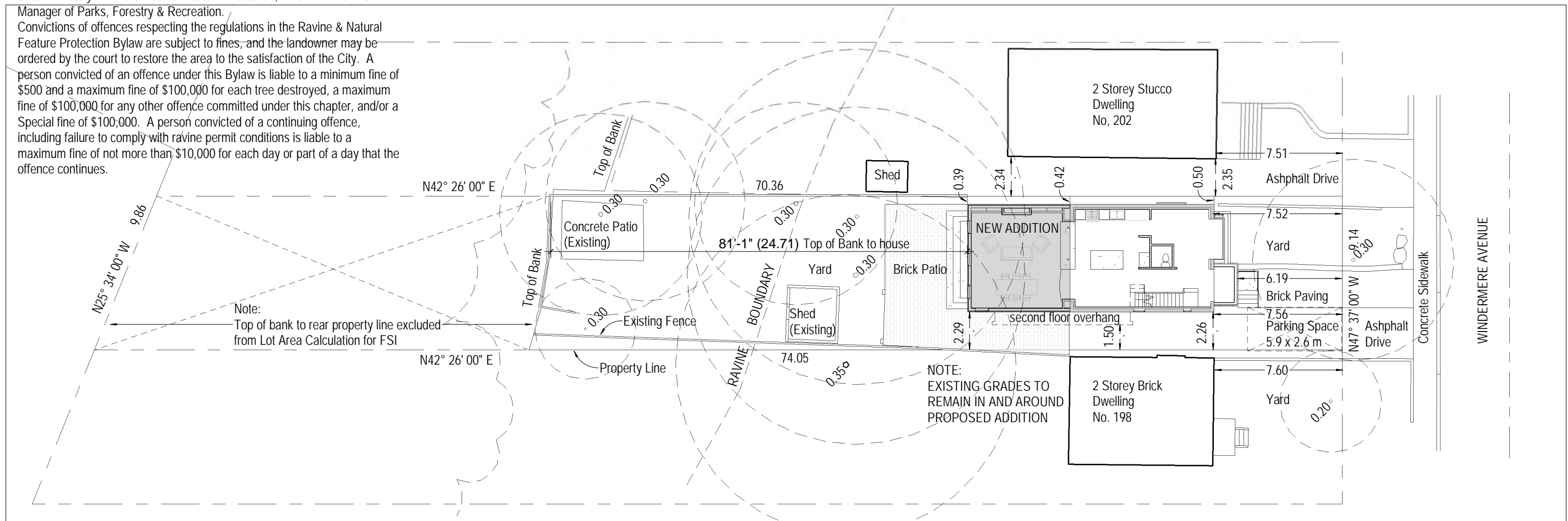
RD (r9.0; d0.35) (x1403)

**LEGAL DESCRIPTION**

Part of Lot 228, Plan 2226, Toronto

**DESCRIPTION OF WORK**

2 Storey Rear Addition



No.	Description	Date
1	Project Start	AUG 16, 2021
2	Submitted for Zoning Review	FEB 15, 2022

**200 Windermere Avenue**

Toronto, Ontario



**jba** John Boone ARCHITECT

51 Arundel Avenue, Toronto, Ontario, M4K 3A3  
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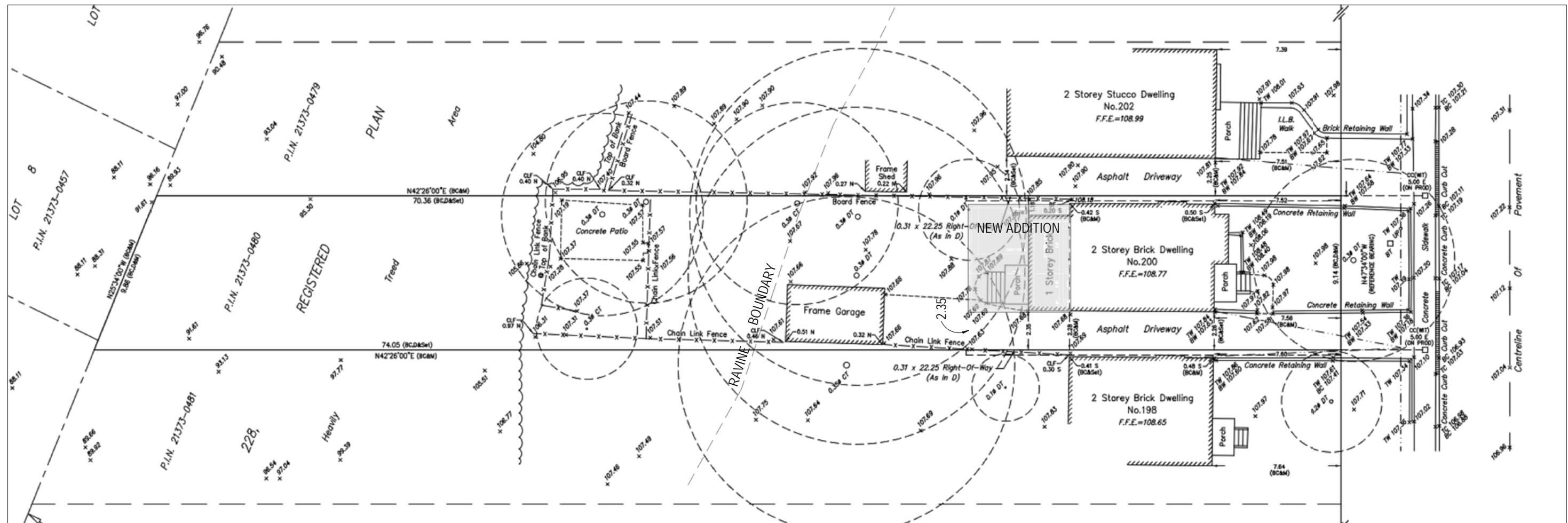
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**Site Plan**

Project number	21A10
Date	August 7, 2022
Drawn by	jb
Checked by	jb

**A1.0**

Scale As indicated



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1	Project Start	AUG 16, 2021
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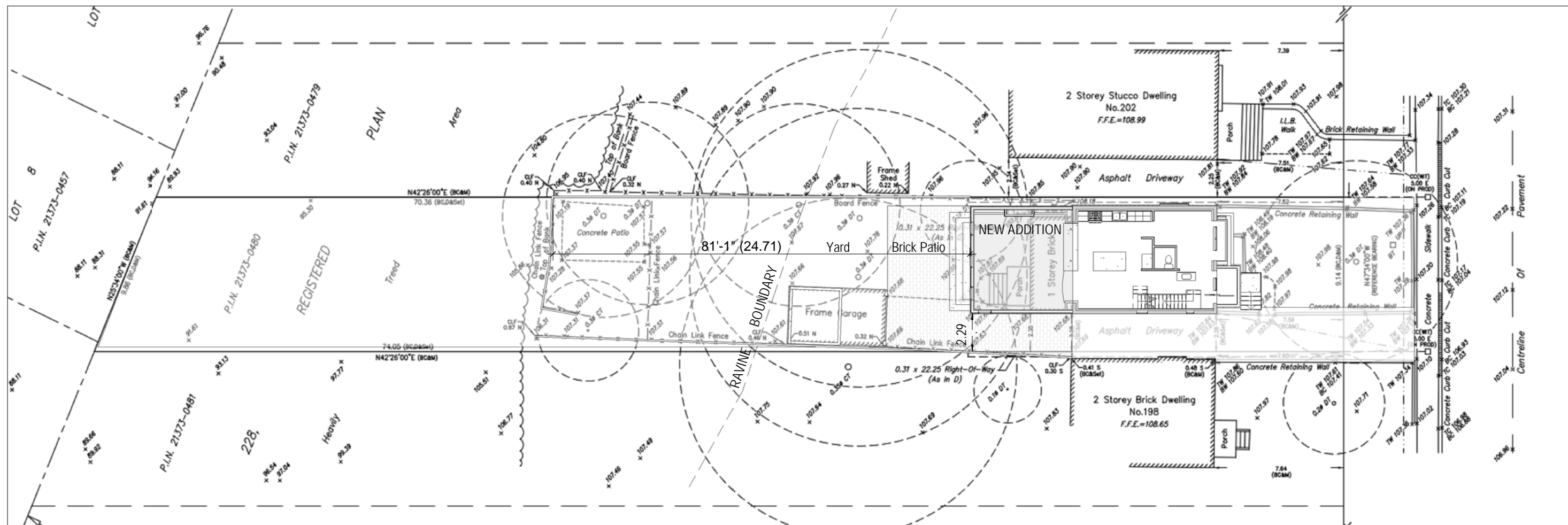
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## Survey

Project number	21A10
Date	August 7, 2022
Drawn by	jb
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**A1.1**

Scale 1" = 20'-0"



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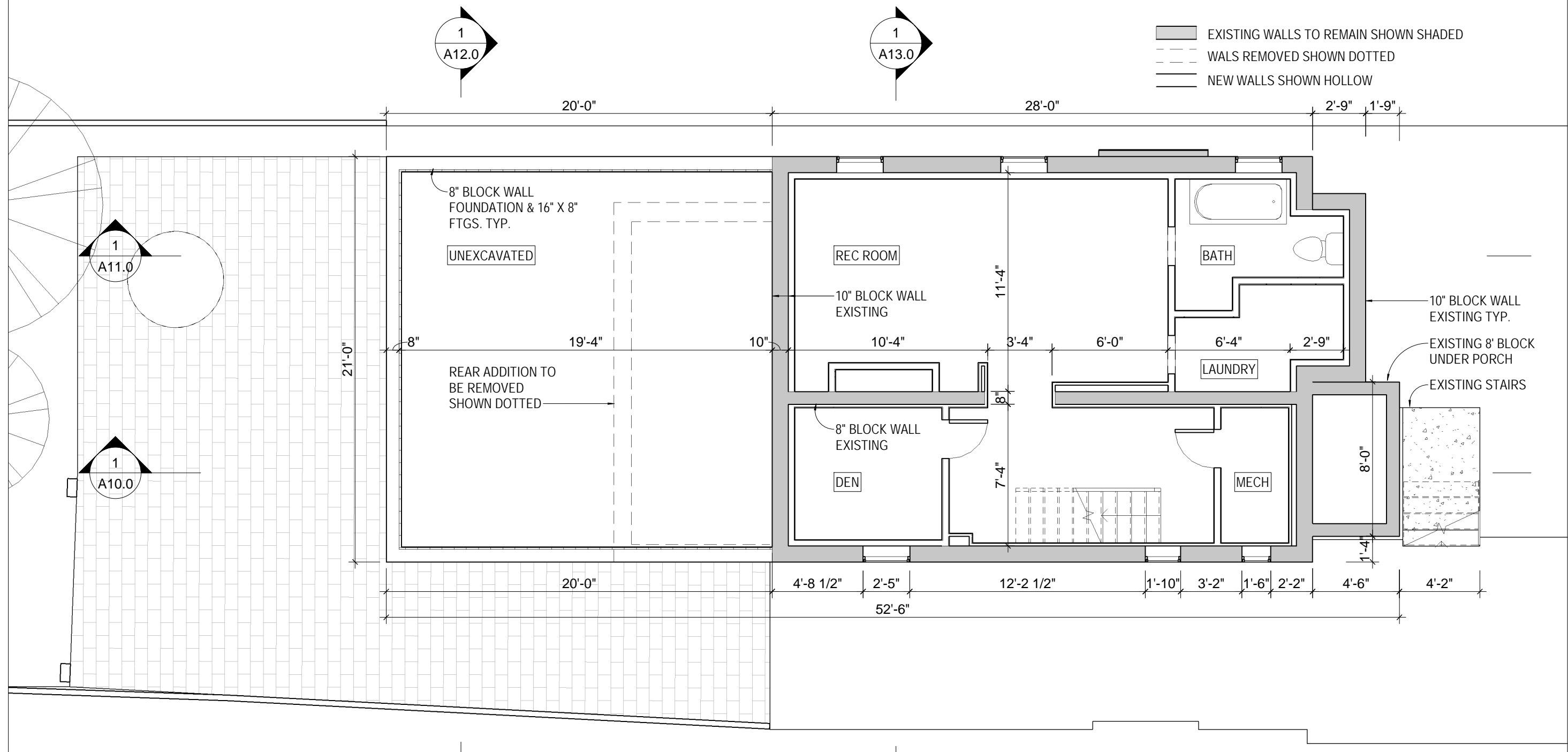
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## Site Plan and Survey

Project number	21A10
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Checked by	jb

**A1.2**

Scale 1" = 20'-0"



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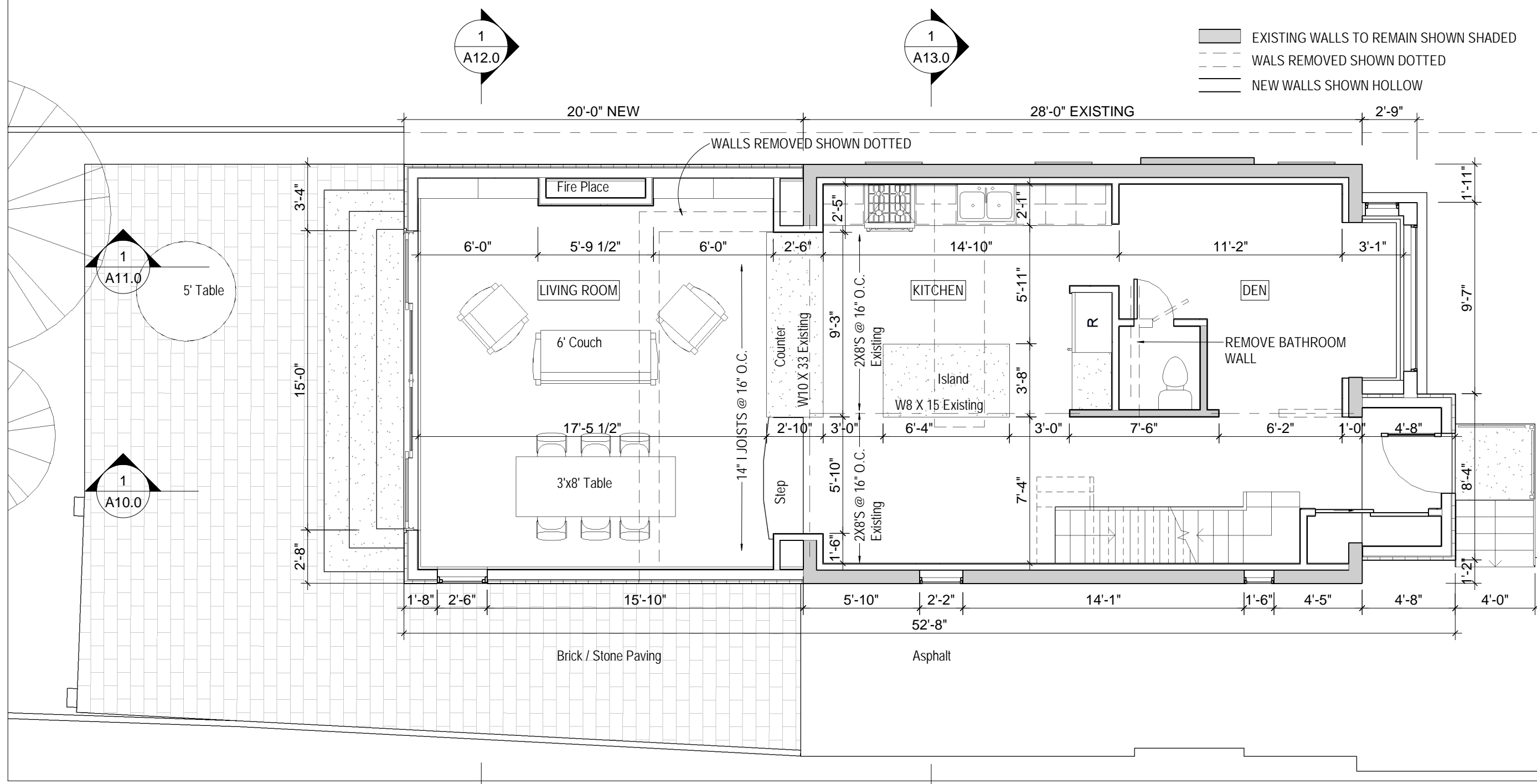
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### Basement

Project number	21A10
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**A2.0**

Scale 3/16" = 1'-0"



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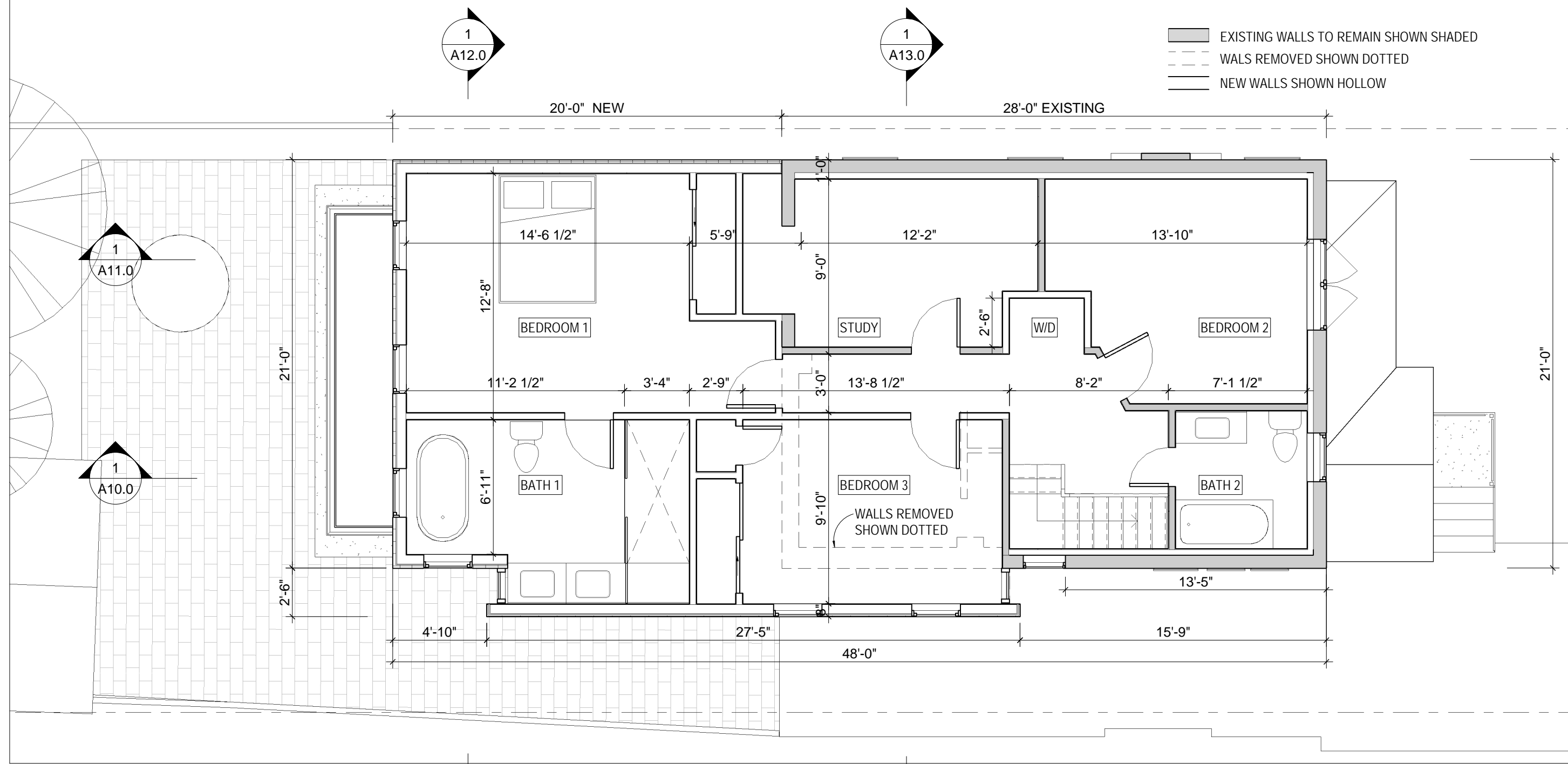
### First Floor

Project number	21A10
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**A3.0**

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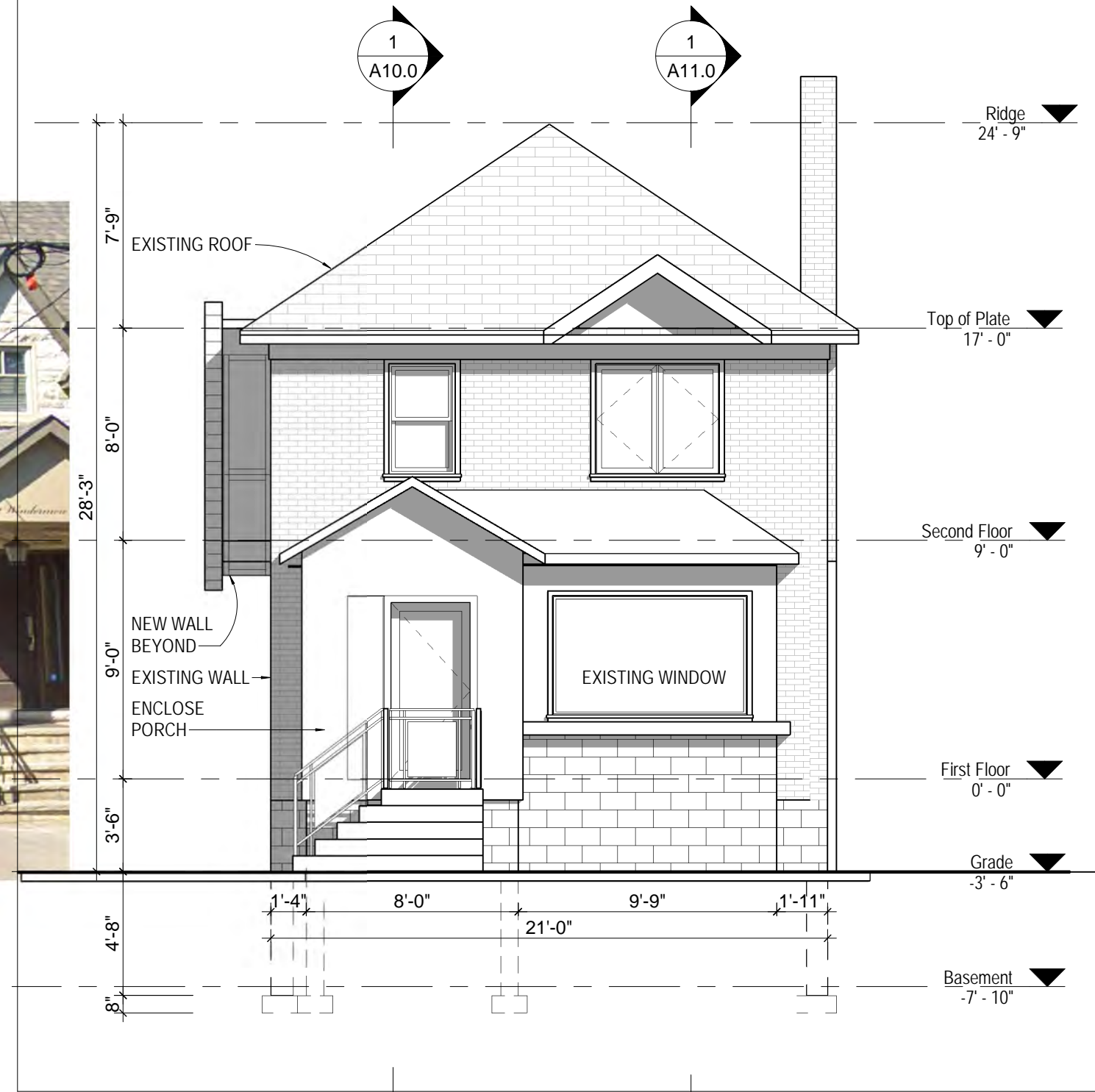
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## Second Floor

Project number	21A10
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**A4.0**

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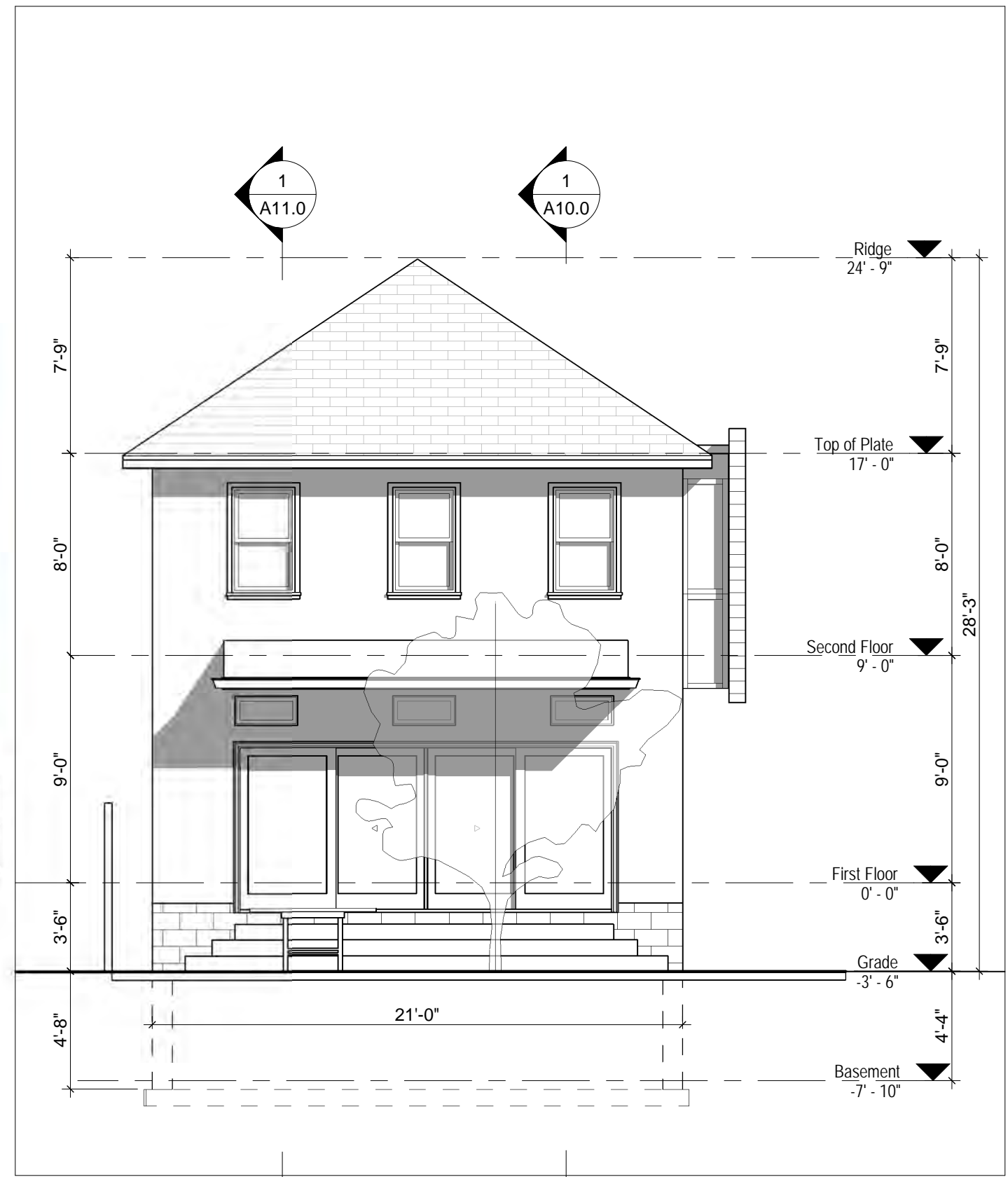
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### Front Elevation (East)

Project number	21A10	<b>A6.0</b> Scale 3/16" = 1'-0"
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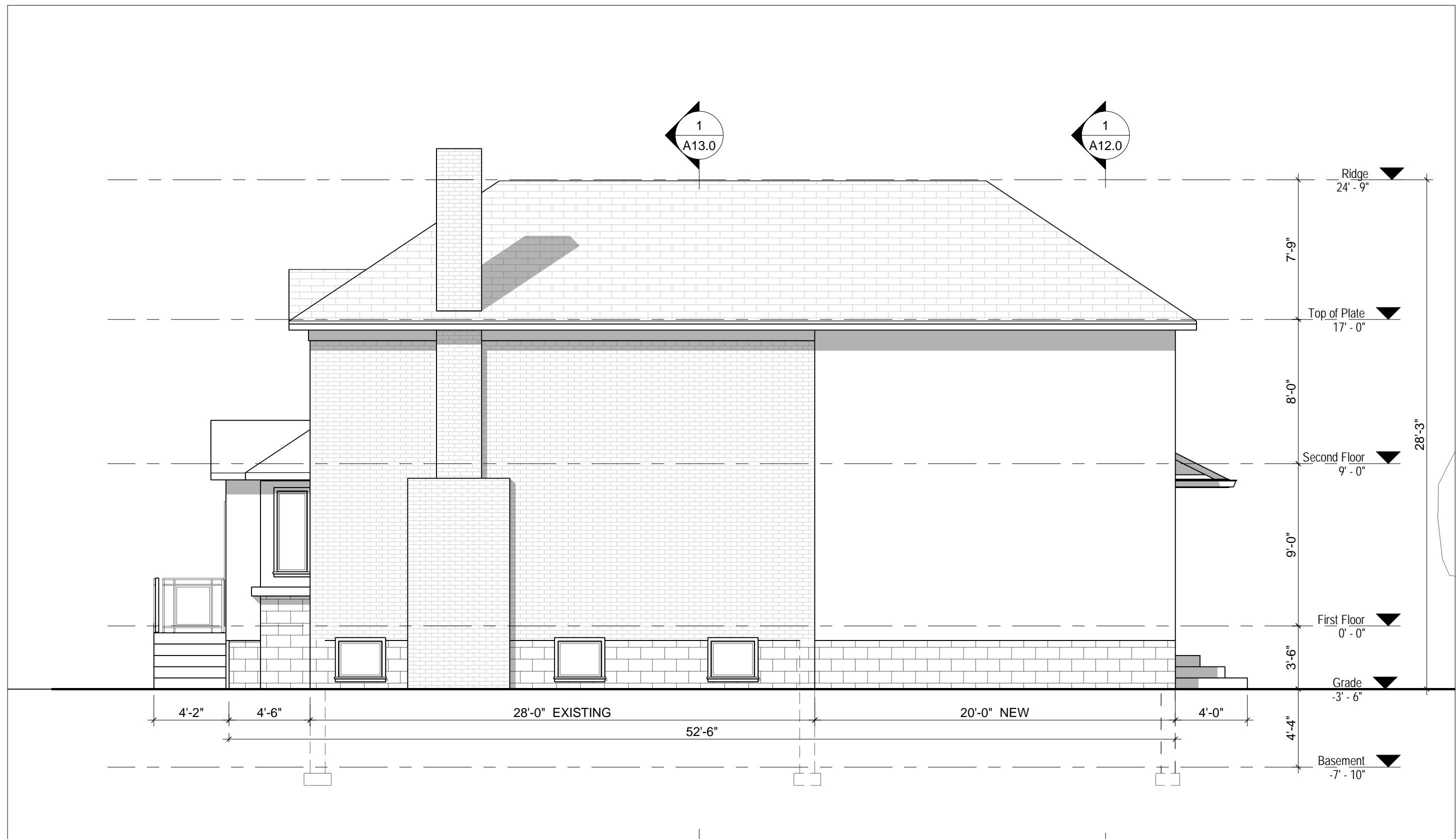
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### Rear Elevation (West)

Project number	21A10	<b>A7.0</b>
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Checked by	jb	Scale 3/16" = 1'-0"





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### Side Elevation (North)

Project number	21A10	<b>A8.0</b>
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Checked by	jb	Scale 3/16" = 1'-0"



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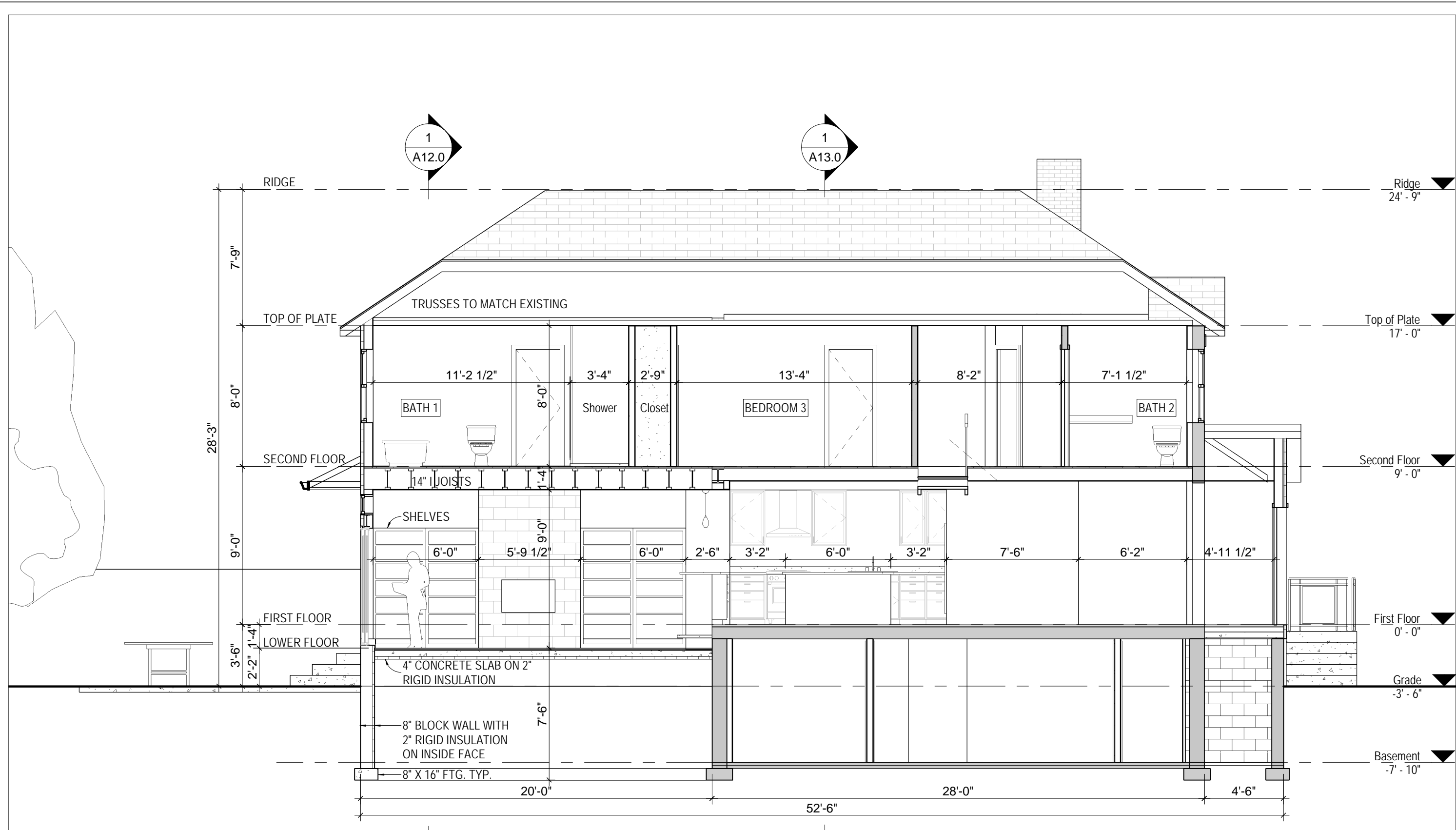


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### Side Elevation (South)

Project number	21A10	<b>A9.0</b> Scale 3/16" = 1'-0"
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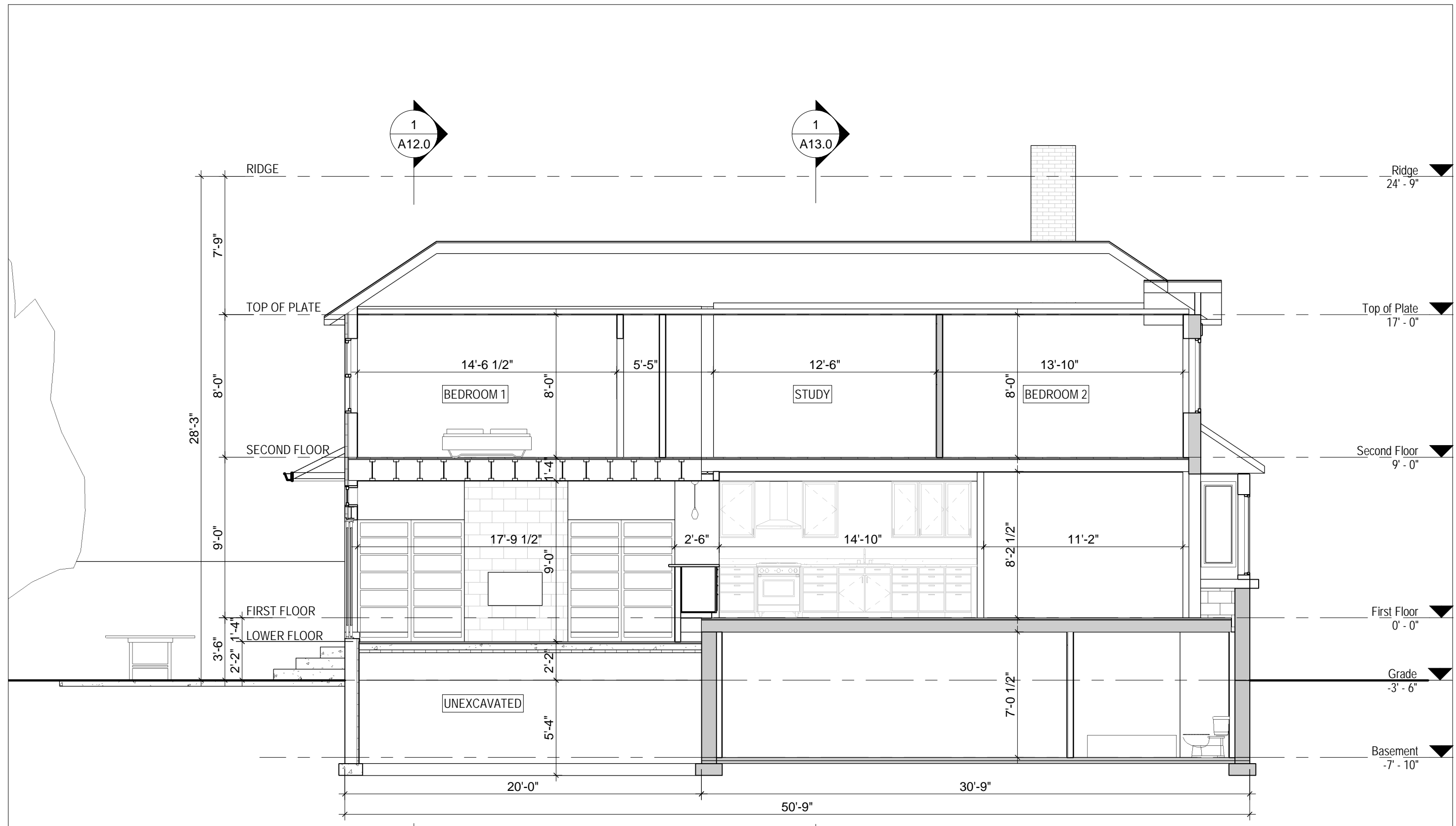
### Section A

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**A10.0**

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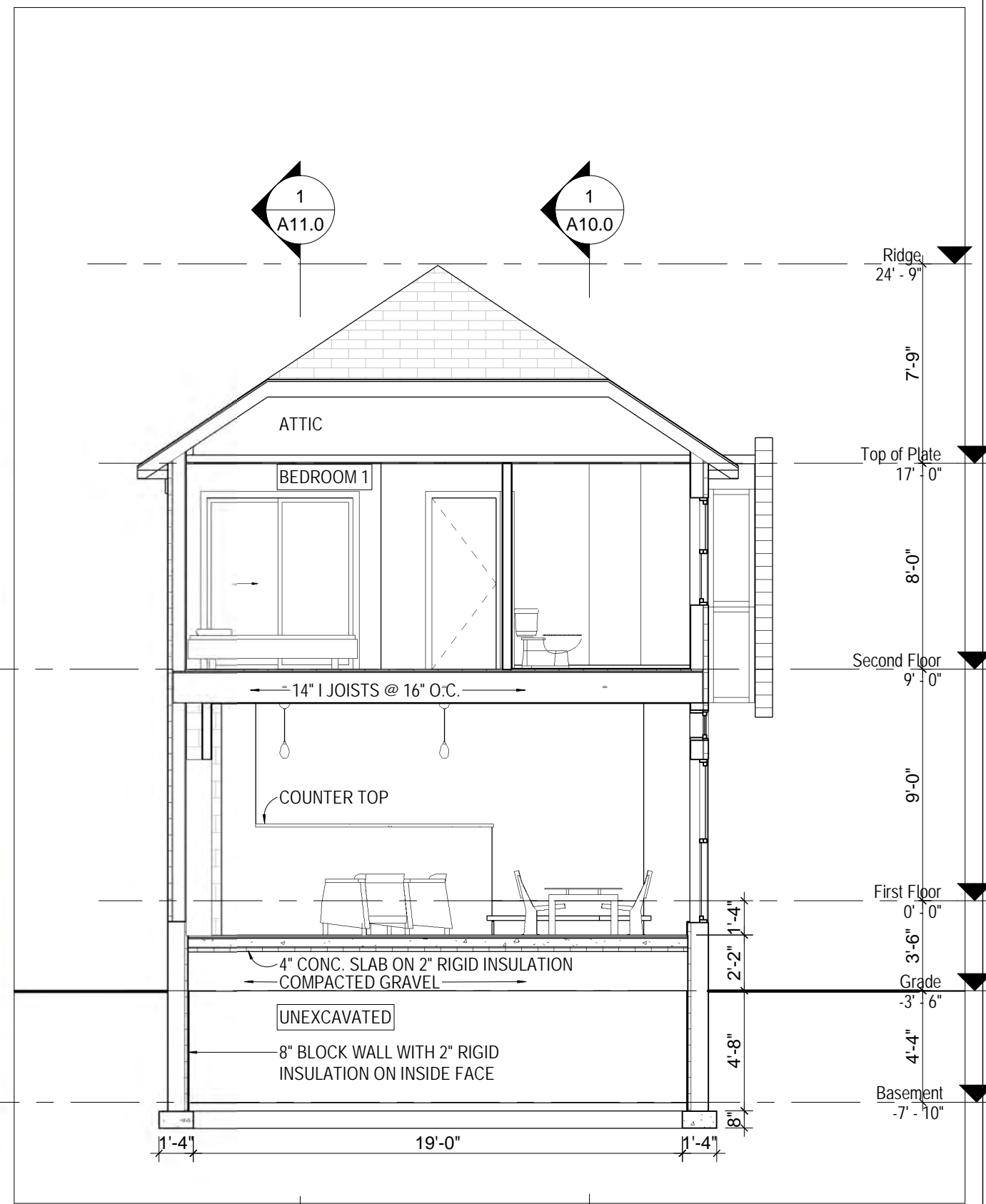
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### Section B

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**A11.0**

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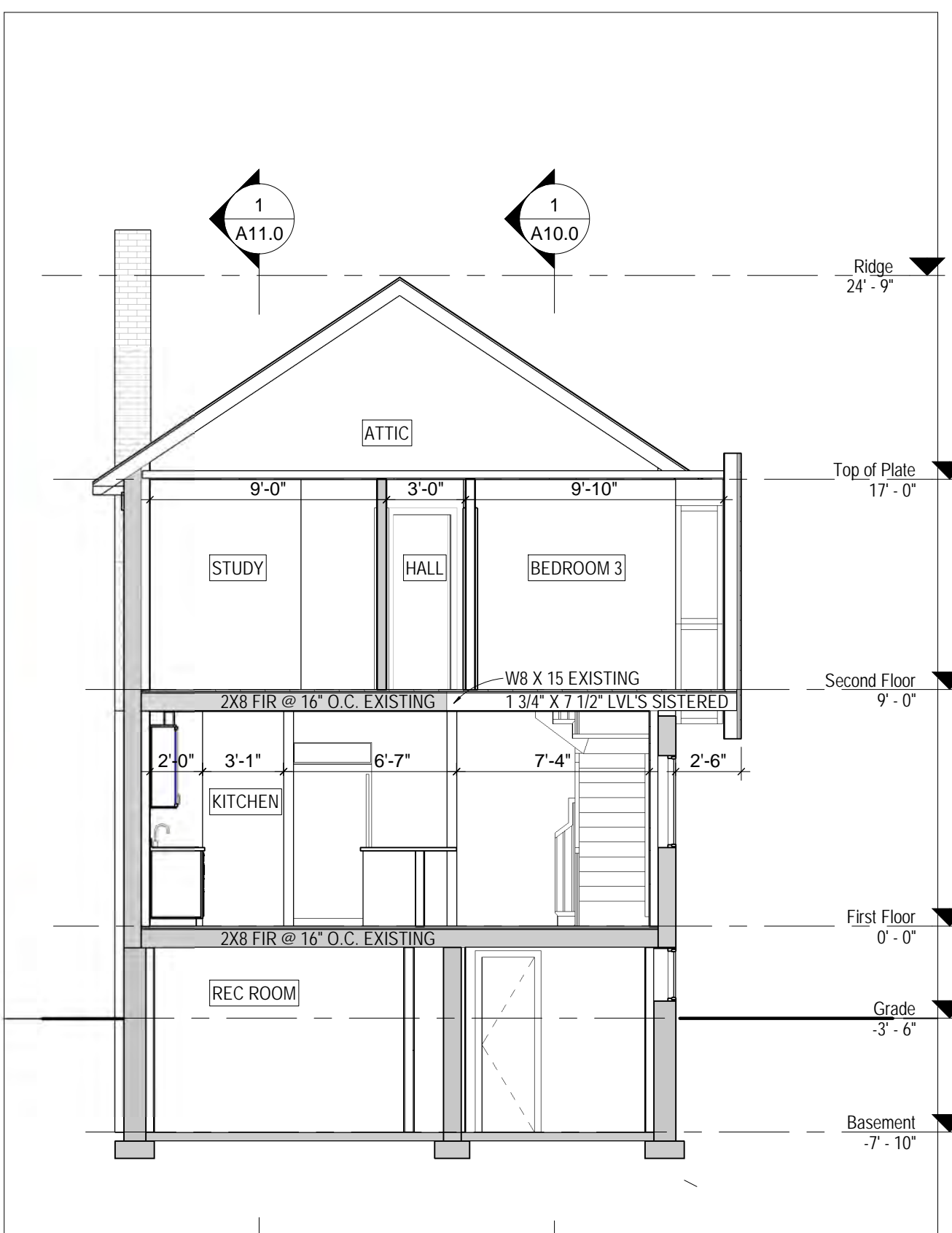
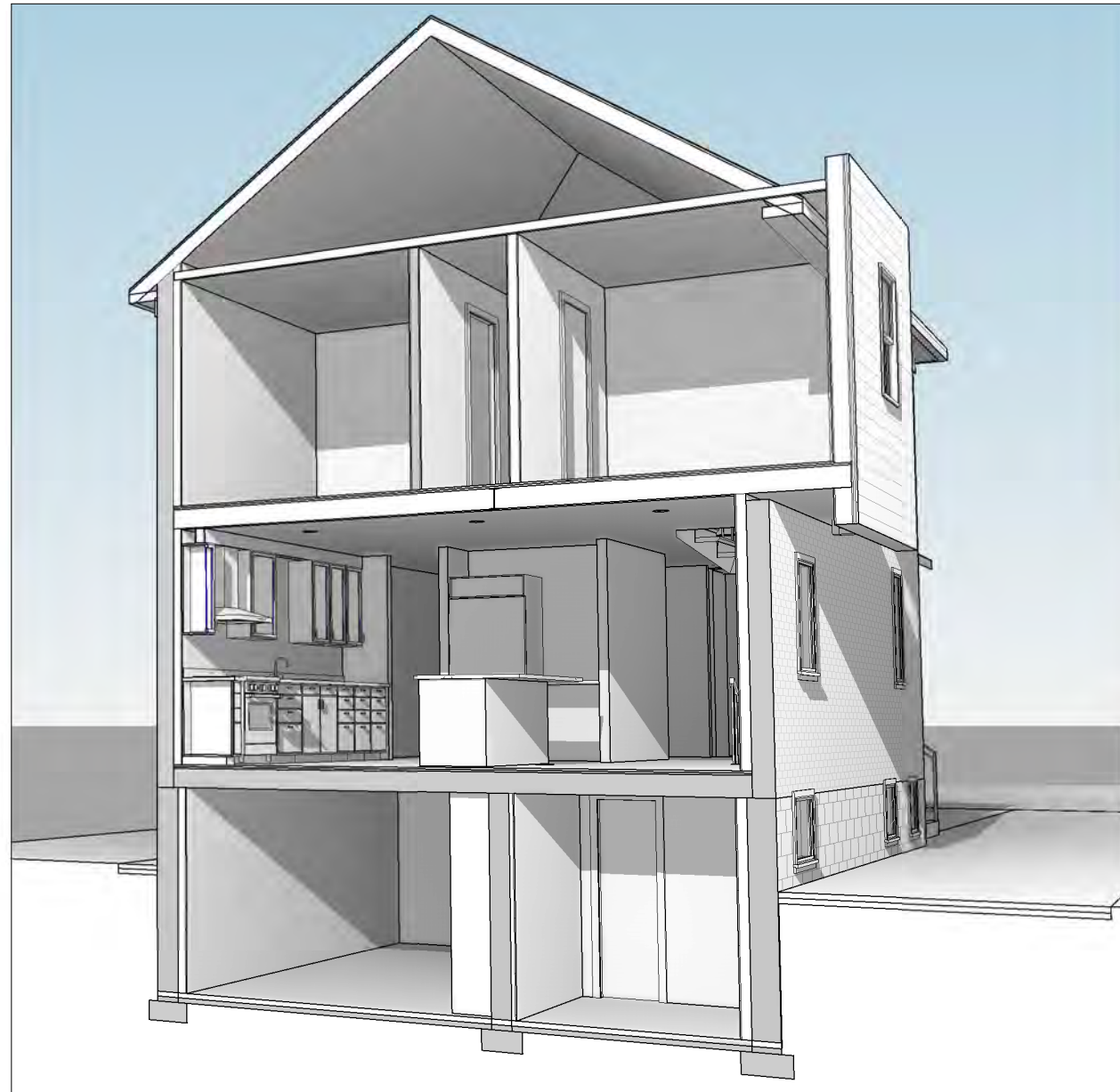
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### Section C

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**A12.0**

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Section D		A13.0
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### 3d First Floor

Project number	21A10	<b>A14.0</b>
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Checked by	jb	Scale





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### 3d Second Floor

Project number	21A10
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**A15.0**

Scale





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## Kitchen

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Checked by	jb	Scale





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## Living Room

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Checked by	jb	Scale