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912 Danforth Avenue, Toronto, Ontario

Subject:912 Danforth Avenue

Zoning

The Zoning for this property is – CR 3.0 (c2.5; r2.5) SS2 (x2426)

1. CR 3.0 means the lot is zoned Commercial / Residential and the maximum density (or floor area) is 3.0 times the area of the lot.
2. (c2.5; r2.5) means that the maximum amount of Commercial or Residential density is 2,5 times the area of the lot. For instance, if the residential density were 2.5, then the maximum commercial density would be 0.5.
3. SS2 refers to what is called a Development Standard set and comes up at different locations throughout the bylaw with respect to use, setbacks, height, parking etc. as it pertains to the uses proposed for the building.
4. (x2426) is an exception to the bylaw in this zone but it does not apply to 912 Danforth Avenue

Height

The maximum height for this building is 14 m (See 40.10.40.10(2))

Building History

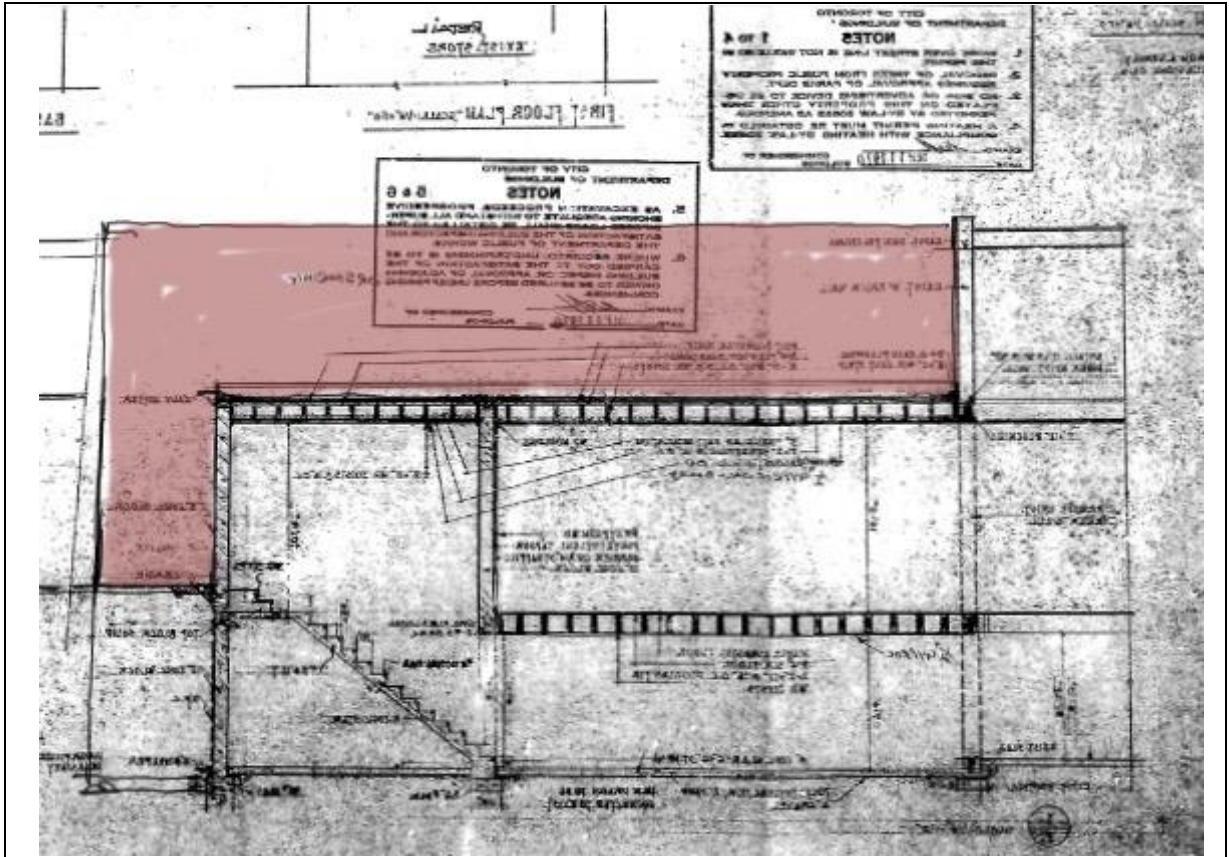
Record drawings received from the city of Toronto indicate renovations to the rear of the building having been carried out with a Building Permit issued on September 11, 1970. The renovations described in the drawings indicate a one storey rear addition. The following page shows diagrams of those portions of the building that have been constructed beyond the scope of the 1970 permit. The record drawings also show a permit issued on January 23, 1967 for a steel frame billboard structure that has since been removed. The second floor over the front portion of the building was done with a permit issued on February 24, 1943.



Ground Floor showing area of building beyond scope of 1970 permit



Second floor showing area of building beyond scope of 1970 permit



The above drawing is a building section clipped from the 1970 permit set of drawings. The image is mirrored so as to have the same orientation as the plans on the previous page. The area shaded in red is the area beyond the scope of the permit. It is not clear when this additional work was carried out.

Building Sections

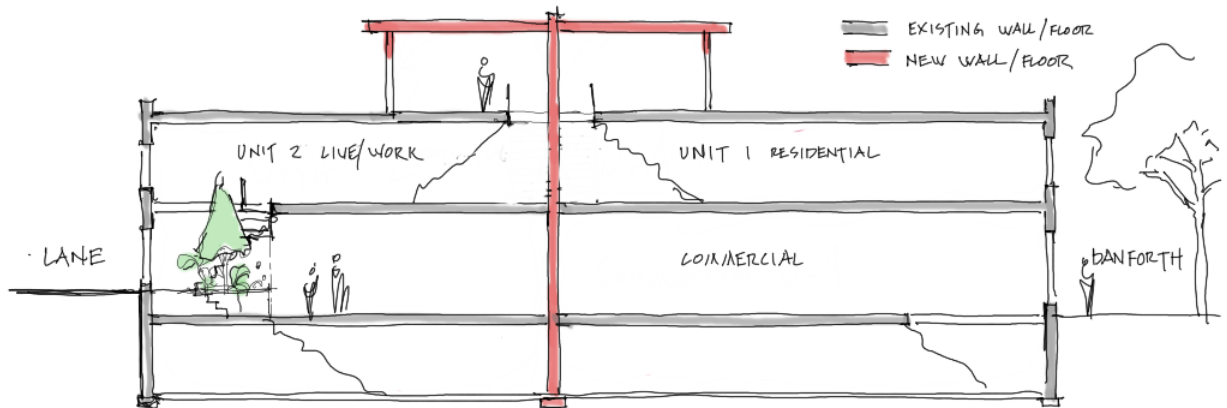


Figure 1 Proposed Building Section showing 2 residential units and 1 commercial unit

The building section above shows the proposed split between the front and rear half of the building. The wall shaded in red represents an existing masonry wall that used to form the back of the original building. This wall will essentially separate the front and back of the building. 2 small penthouse rooms are located at the third floor level with access to roof decks.

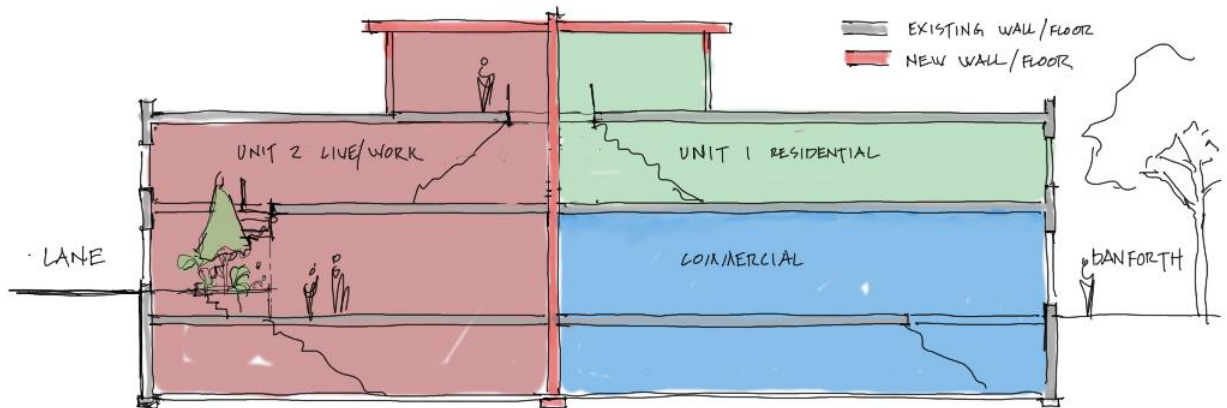


Figure 2 Proposed Building Section

The diagram above shows the three new units to be created in the building. The commercial space shaded in blue will occupy the ground floor and basement area at the front of the building. The residential spaces will occupy the remainder of the building.

Commercial Space

The ground floor commercial space will occupy the front half of the building with a demising wall located at the juncture where the old masonry walls meet the new concrete block (approximately half the length of the building).



View from lane showing new third floor and new back wall



View from lane looking east toward rear of building



Drawing above shows overlay sketch at rear of building. A small garden is situated in the interior entry space of the Live / Work unit to act as a foil and provide privacy from the lane while still allowing for ample daylight to enter the space. The rear unit of the building would be designed as a live work unit with the work area of the space happening in the ground floor and basement.



Figure 3 Close up view of east wall showing saw tooth crack in wall

East Wall

The east wall of the building at the rear second floor area is showing evidence of a saw tooth crack up the entire height of the wall. A visual inspection from the lane indicates that the rear of the building has settled. This condition should be examined more closely to determine the cause of the crack and any remedial measures that might be necessary to repair. At present, based on the scope of work, this wall will be demolished and rebuilt.

Criteria for one exit

If the commercial unit and residential unit occupy the ground floor, there will only be one exit available for each unit. The commercial unit would exit out the front and the residential unit would exit out the back. The criteria for one exit varies depending on the occupancy but the general rule is 150 sm (1600 sf) and 15 m (49 ft) travel distance or about 1600 sf and 49 ft.