

Landscape Calculation

Rear Yard Area	1834.99 sf = (170.47) sm
New Addition	188.83 sf = (17.54) sm
Stairs and Hard Paving	425.17 sf = (39.50) sm
Parking Area (Incl. Sheds)	436.24 sf = (40.53) sm
Soft Landscape	784.75 sf = (72.90) sm
Soft Landscape	42.77 % of rear yard area

sf = Square Feet
sm = Square Meters

Legal Description Part of Lot 3, Plan 367-E, Toronto
Zoning R(d.06)(x736)

Description of Work

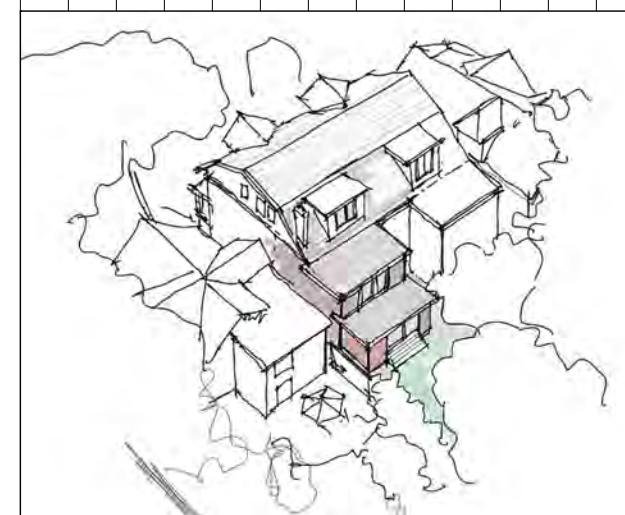
1. Interior Alterations to Basement, First and Second Floors
2. New First Floor Addition at rear
3. New Second Floor Addition at rear

Site Statistics

Lot Area	3538.14 sf = (328.69) sm
Ground Floor Existing	998.71 sf = (92.78) sm
Second Floor Existing	807.67 sf = (75.03) sm
Third Floor Existing	704.43 sf = (65.44) sm
Ground Floor New	188.83 sf = (17.54) sm
Second Floor New	274.67 sf = (25.52) sm

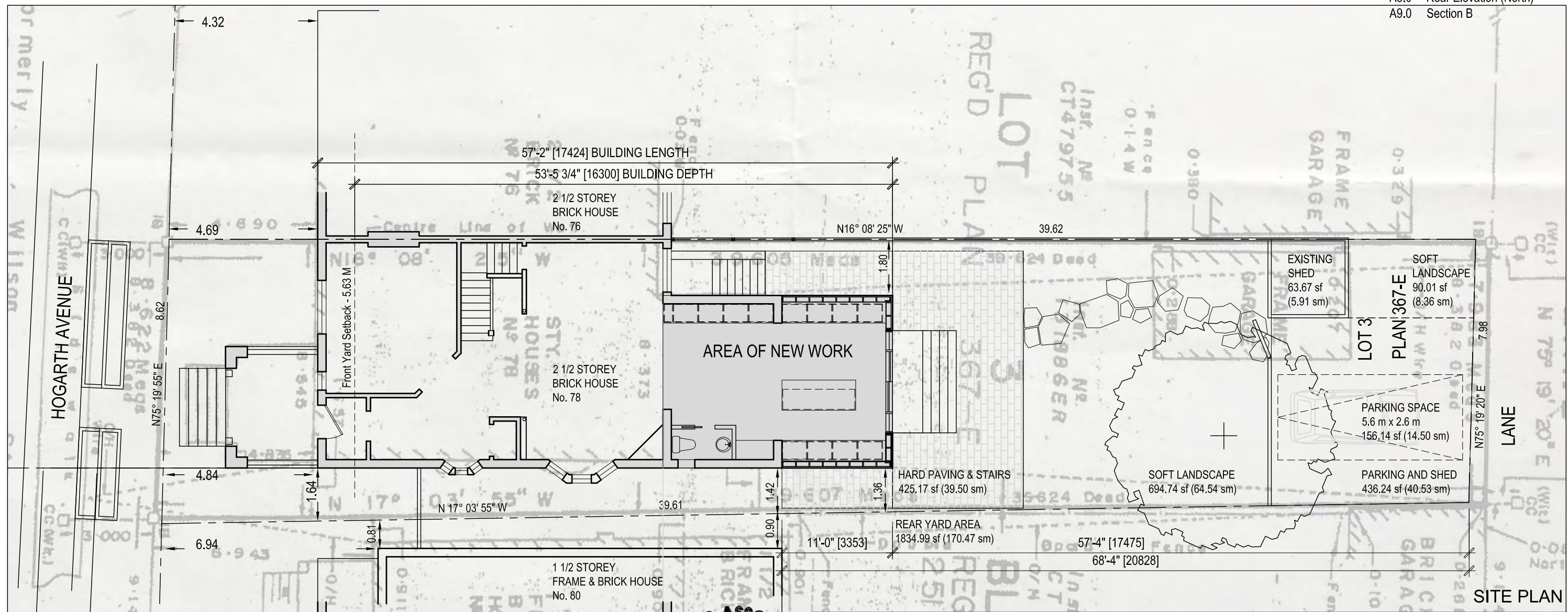
Gross Floor Area (GFA)	2974.31 sf = (276.31) sm
GFA / Lot Area	84.06 %
Footprint	1187.54 sf = (110.32) sm
Site Coverage	33.56 %
Area of New Work	463.50 sf = (43.06) sm

sf = Square Feet
sm = Square Meters



Drawing List

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- A1.1 Site Plan and Site Elevation
- A1.2 Site Plan and Site Section
- A1.3 Schedules & Notes
- A2.0 Basement Removals
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- A3.0 First Floor Removals
- A3.1 First Floor Layout
- A3.2 First Floor Proposed
- A4.0 Second Floor Removals
- A4.1 Second Floor Layout
- A4.2 Second Floor Proposed
- A5.0 Third Floor
- A6.0 Side Elevation (East)
- A7.0 Section A
- A8.0 Rear Elevation (North)
- A9.0 Section B



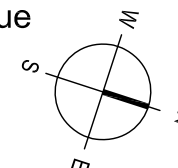
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John Boone ARCHITECT
51 Arundel Avenue, Toronto, Ontario, M4K 3A3
Tel: 416 469 3264 Email: johnboonearchitect@icloud.com

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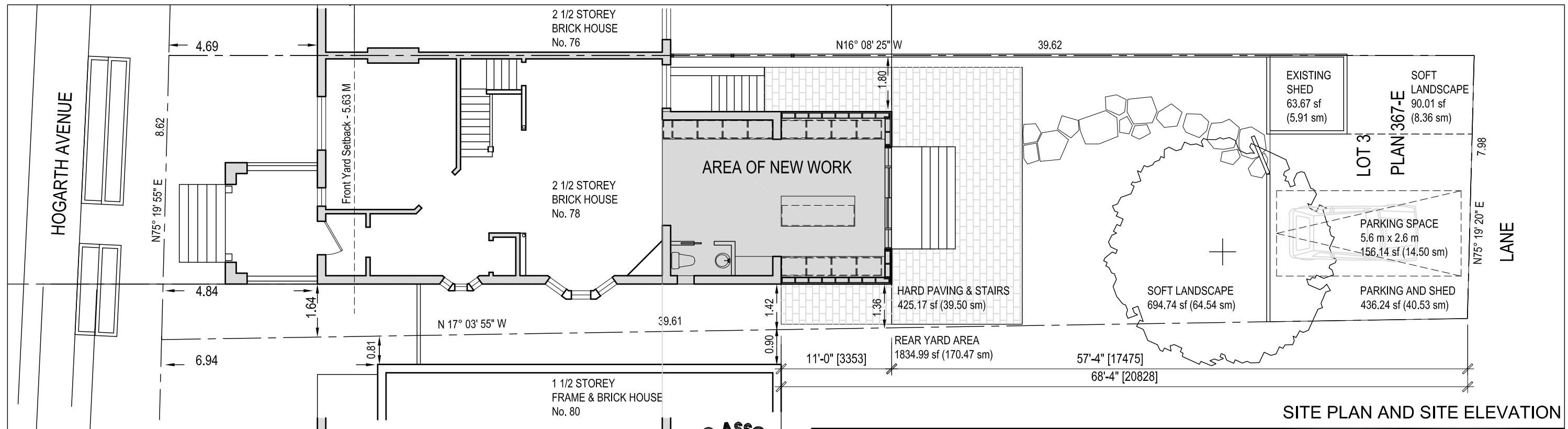
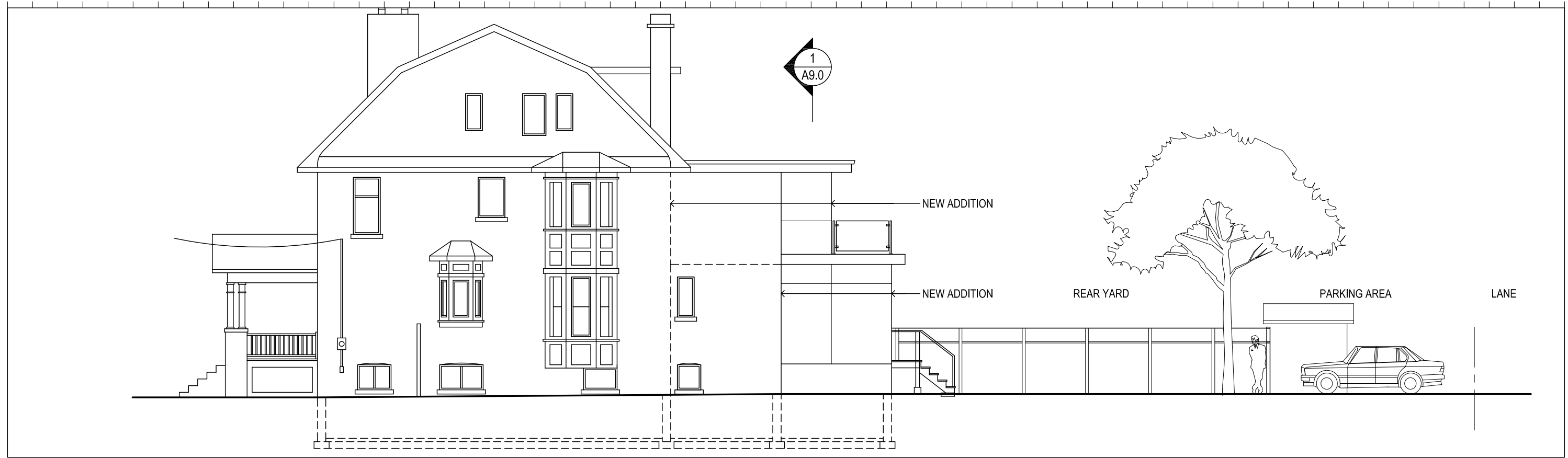
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PROJECT DATE August 25 2019
PROJECT NUMBER 19A08
DRAWN BY JB

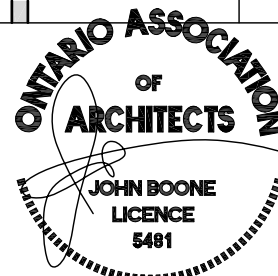
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A1.0



SITE PLAN AND SITE ELEVATION

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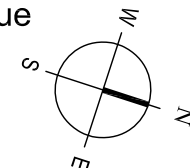


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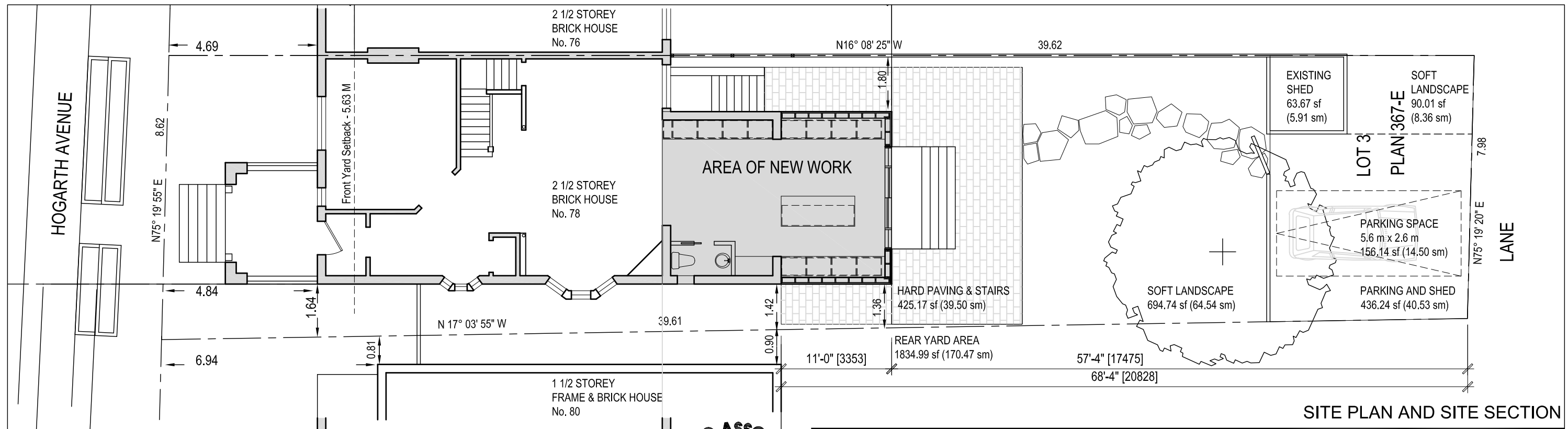
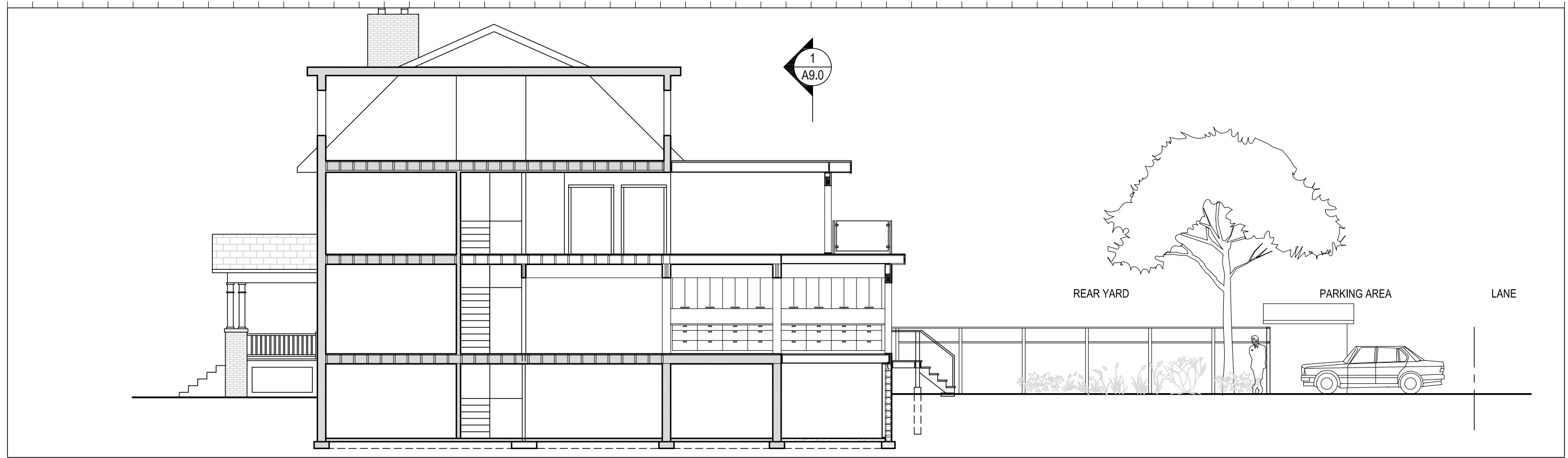
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A1.1



SITE PLAN AND SITE SECTION

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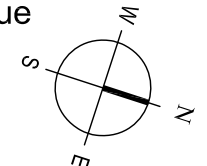


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A1.2

CONCRETE FLOOR SLABS

- Garage, carport and exterior slabs and exterior steps shall be 32 MPa concrete with 5-8% air entrainment
- Basement slab shall be minimum 25 MPa concrete, and minimum 4 in (100 mm) thick, placed on minimum 6 in (150 mm) of coarse, clean, granular material
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support

FOUNDATION WALLS

- To be poured concrete, unit masonry, or ICF.
- Damp proofing shall be a heavy coat of bituminous material.
- Foundation wall to extend a minimum of 6 in (150 mm) above finished grade.
- A drainage layer is required at the outside of a foundation wall where the interior insulation extends more than 2 ft (600 mm) below exterior grade.
- A drainage layer shall consist of min. 3/4" (19 mm) mineral fibre insulation with minimum density of 57 kg/m³ or minimum 4 in (100 mm) of free drainage granular material, or an approved system which provides equivalent performance
- Foundation walls shall be braced or have the floor joists installed before backfilling

WOOD FRAME CONSTRUCTION

- All lumber shall be spruce-pine-fir No. 2 or better, and shall be identified by a grade stamp
- Maximum moisture content 19% at time of installation
- Wood Framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 0.05 mm polyethylene or type 'S' roll roofing

FLOORS

- Joists to have a minimum of 1 1/2" (38 mm) end bearing
- Joists shall bear on a sill plate fixed to the foundation with 1/2" (12.7 mm) anchor bolts @ min. 4 ft (1200 mm) on centre
- Header joists between 4 ft (1200 mm) and 10 ft 6 in (3200 mm) in length shall be doubled. Header joists exceeding 10 ft 6 in (3200 mm) shall be sized by calculations
- Trimmer Joists shall be doubled when supported header is between 32 in (800 mm) and 6 ft (2000 mm) Trimmer joists shall be sized by calculations when the supported header exceeds 2000 mm
- Non load bearing walls shall be supported on a joist or on blocking between joists

ROOF AND CEILING

- See drawings for rafter, roof joist and ceiling joist size and spacing
- See drawings for material assemblies
- Hip and valley rafters shall be 38 mm (1 1/2") deeper than common rafters
- 2 x 4 collar ties @ rafter spacing with 2 x 4 continuous brace at midspan if collar tie exceeds 8 ft (2400 mm) in length

NOTCHING DRILLING OF TRUSSES, JOISTS RAFTERS

- Holes in floor, roof and ceiling members to be not larger than 1/4 in (6 mm) the actual depth of the member and not less than 2" (50 mm) from edges
- Notches in floor, roof and ceiling members to be located on top of the member within 1/2 the actual depth from the edge of bearing and not greater than 1/3 the joist depth
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 1/2 in (38 mm) if non-load bearing
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design

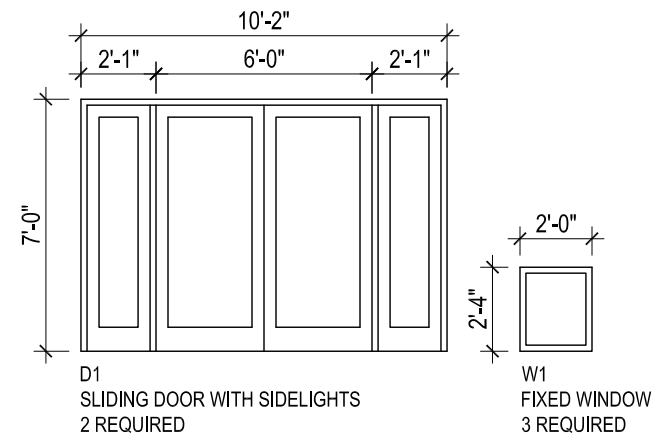
ROOFING

- Fasteners for roofing shall be corrosion resistant roofing nails and shall penetrate through or at least 1/2" into roof sheathing
- Every asphalt shingle shall be fastened with at least 4 nails for 3'-0" wide shingle (or 6 mm staples)
- Eave protection shall extend 3'-0" (900 mm) up the roof slope from the edge, and at least 1'-0" (300 mm) from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum 4" (100 mm) head and end laps cemented together, or glass fibre or Polyester Fibre coated base sheets, or self sealing composite membranes consisting of modified bituminous coated material or No.15 saturated felt lapped and cemented.
- Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 1.5, or where a low slope asphalt shingle application is provided
- Open valleys shall be flashed with 2 layers of roll roofing, or 1 layer of sheet metal min. 24" wide
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys
- Sheet metal Flashing shall consist of not less than 1.73 mm sheet lead, 0.33mm galvanized steel, 0.33 mm copper, 0.35 mm zinc, or 0.48 mm aluminum

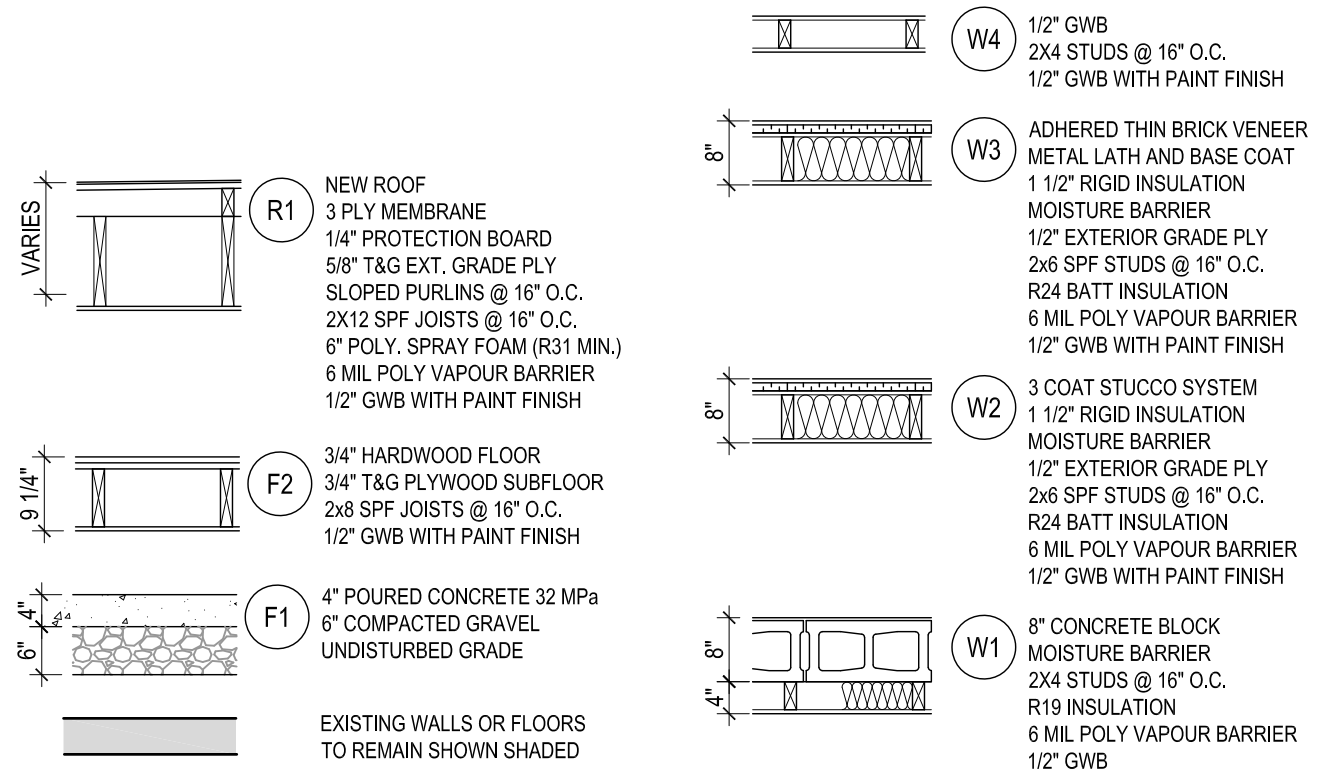
ELECTRICAL

- An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport. A switched receptacle may be provided instead of a light in bedrooms and living rooms
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foot of the stairs
- Basements require a light for each 30 sm controlled by a switch at the head of the stairs

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2 Door and Window Types
Scale: 3/16" = 1'-0"



1 Floor, Wall and Roof Types
Scale: 1/2" = 1'-0"

SCHEDULES & NOTES

78 Hogarth Avenue
Toronto, Ontario

DRAWING SCALE AS NOTED
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PLOT DATE : April 19, 2021

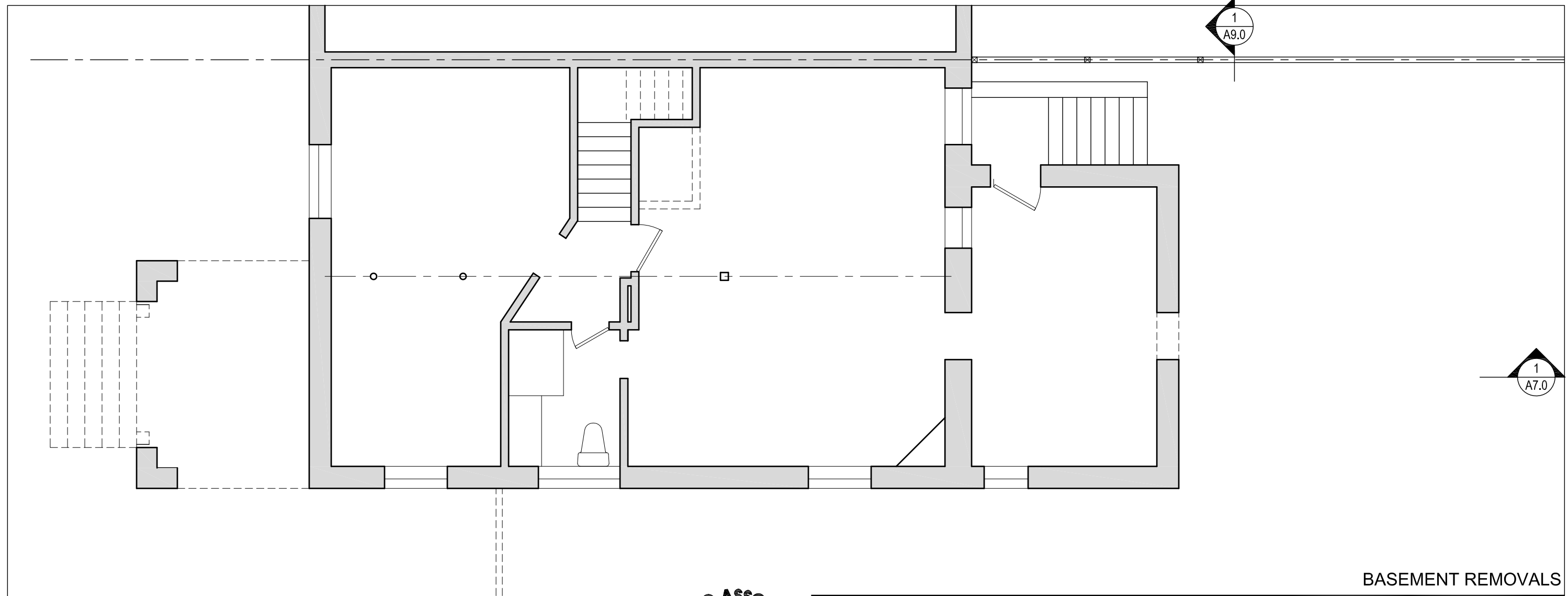
A1.3



jba John Boone
ARCHITECT

51 Arundel Avenue, Toronto, Ontario, M4K 3A3
Tel: 416 469 3264 Email: johnboonearchitect@icloud.com

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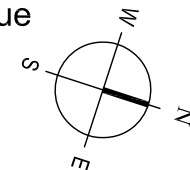


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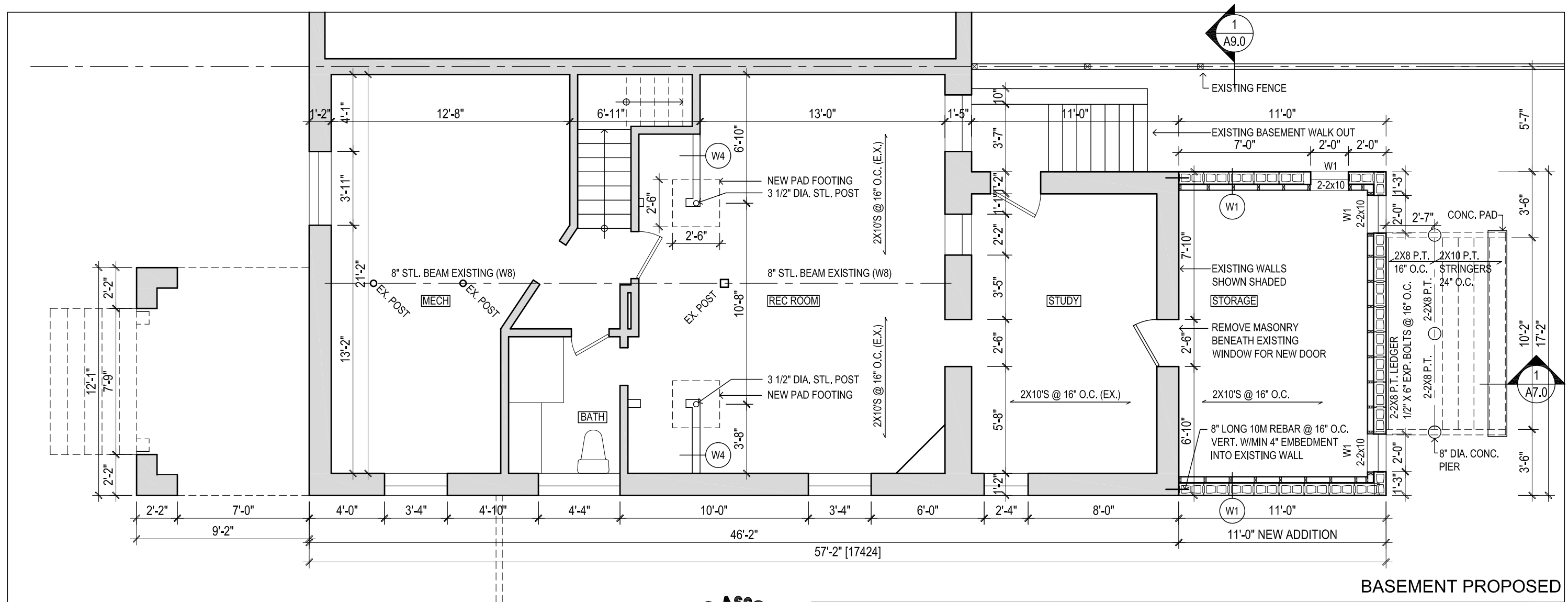
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A2.0



BASEMENT PROPOSED

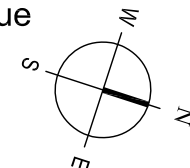
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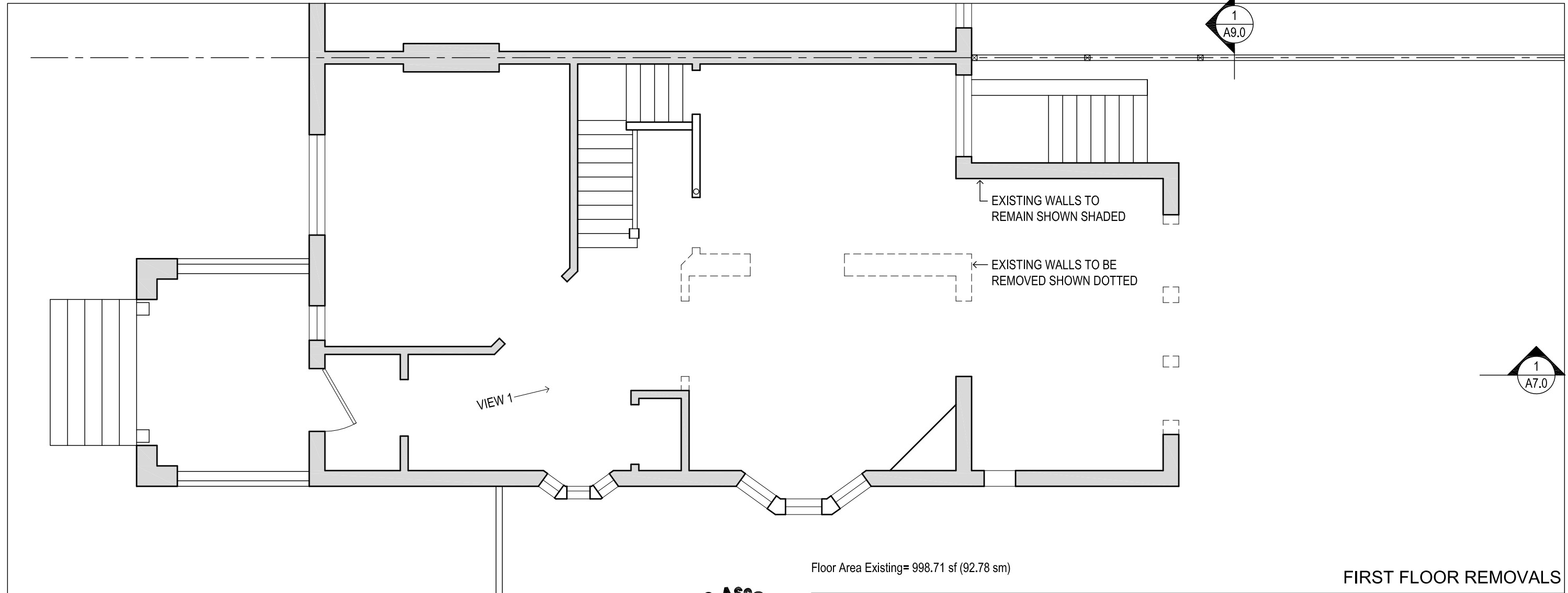
VIEW 1 - EXISTING



VIEW 1 - PROPOSED



VIEW 1 - PROPOSED



Floor Area Existing= 998.71 sf (92.78 sm)

FIRST FLOOR REMOVALS

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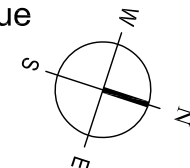


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A3.0



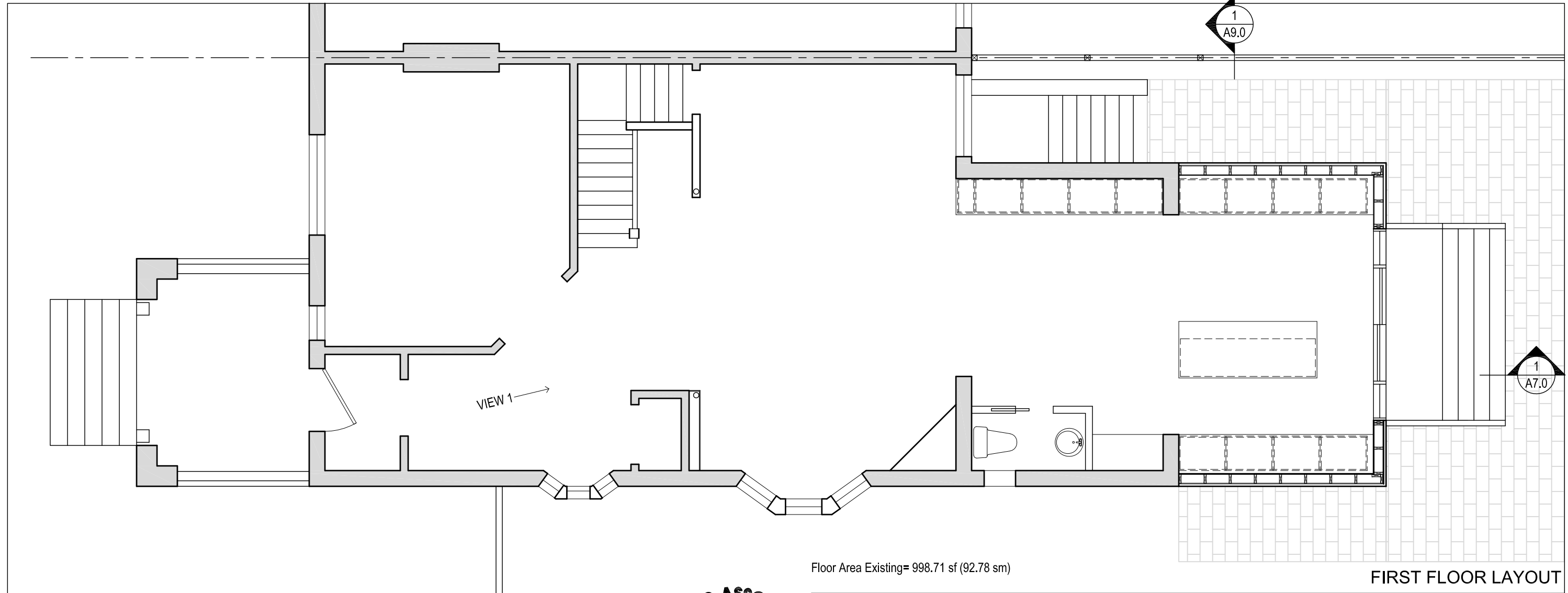
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VIEW 1 - PROPOSED



VIEW 1 - PROPOSED



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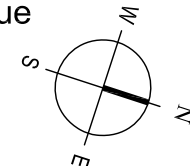


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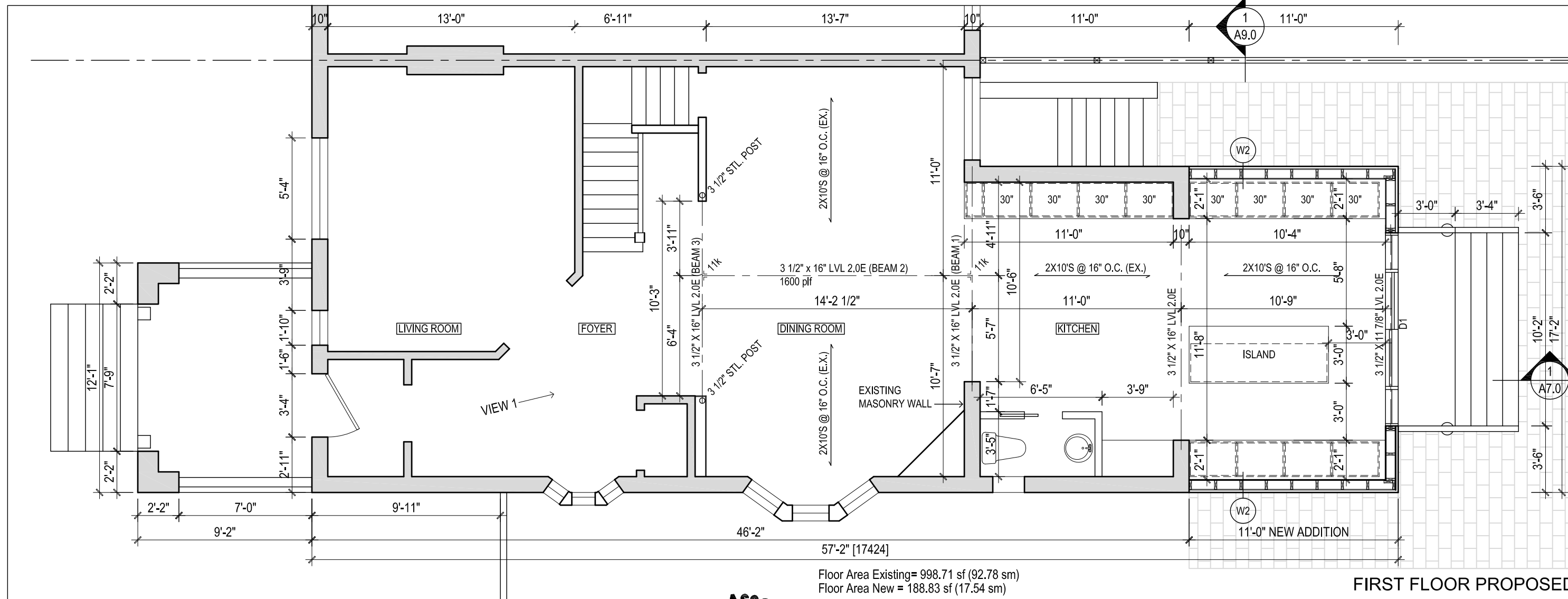
VIEW 1 - EXISTING



VIEW 1 - PROPOSED



VIEW 1 - PROPOSED



Floor Area Existing = 998.71 sf (92.78 sm)
 Floor Area New = 188.83 sf (17.54 sm)

FIRST FLOOR PROPOSED

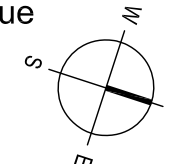
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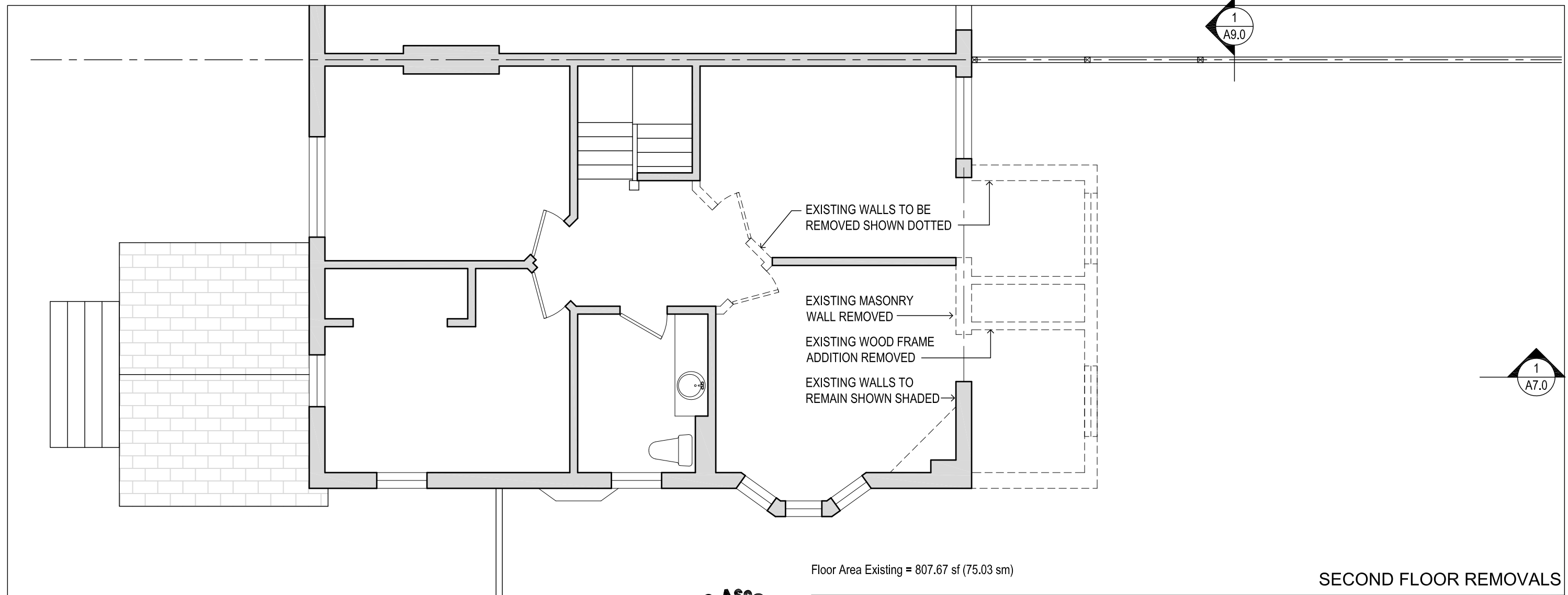
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SECOND FLOOR REMOVALS

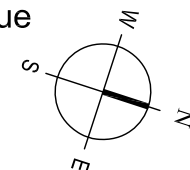
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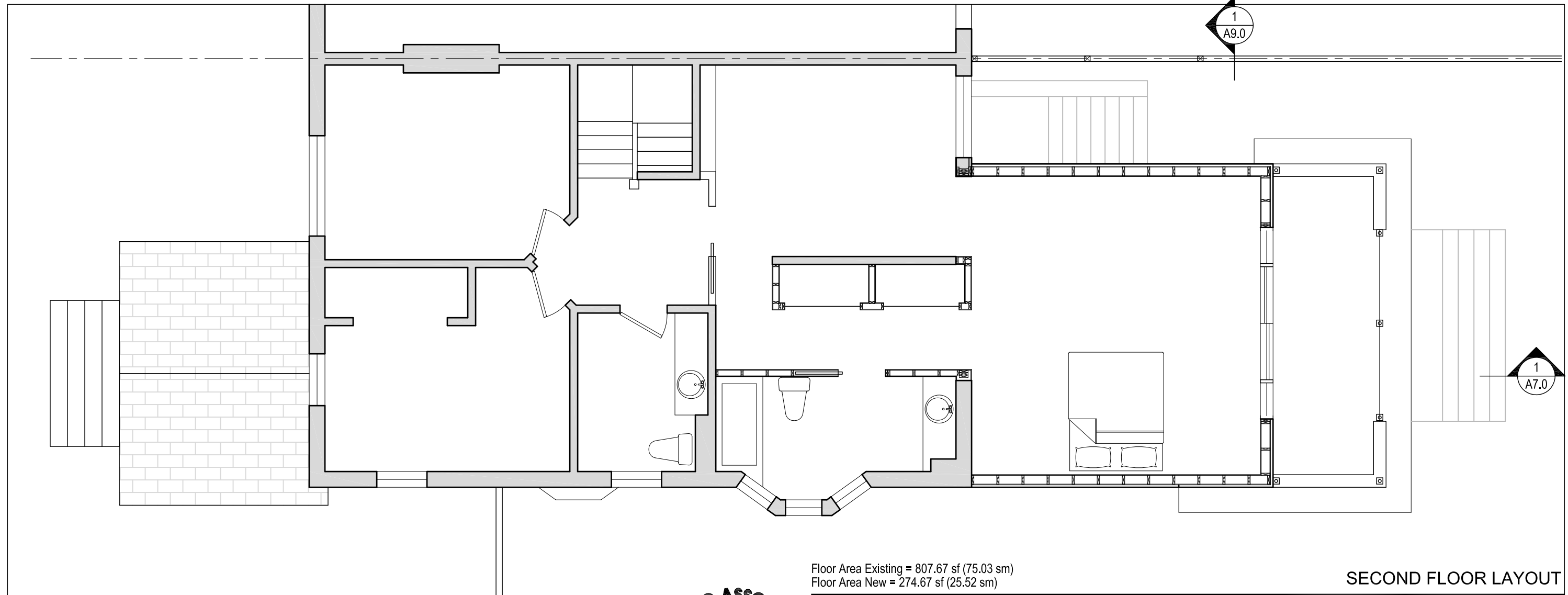
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Floor Area Existing = 807.67 sf (75.03 sm)
 Floor Area New = 274.67 sf (25.52 sm)

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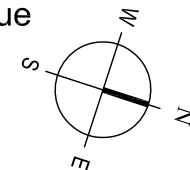


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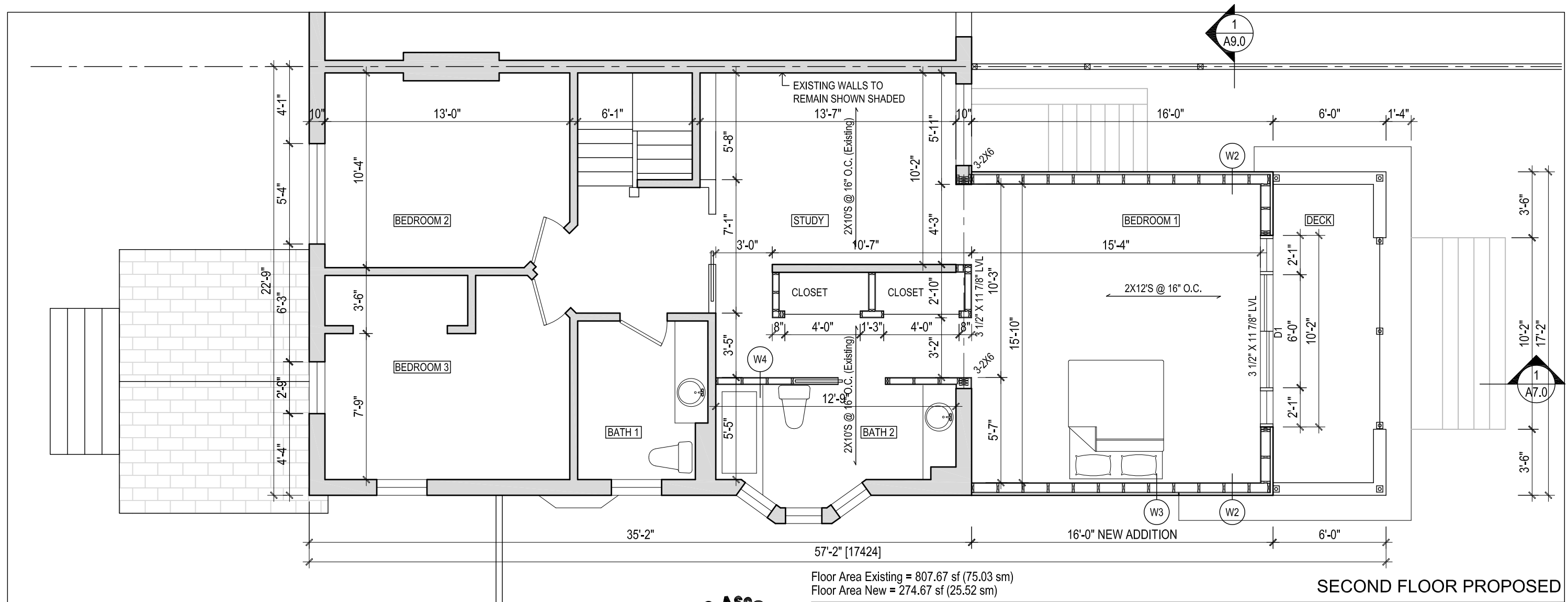
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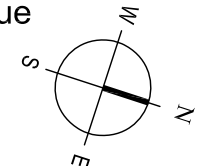


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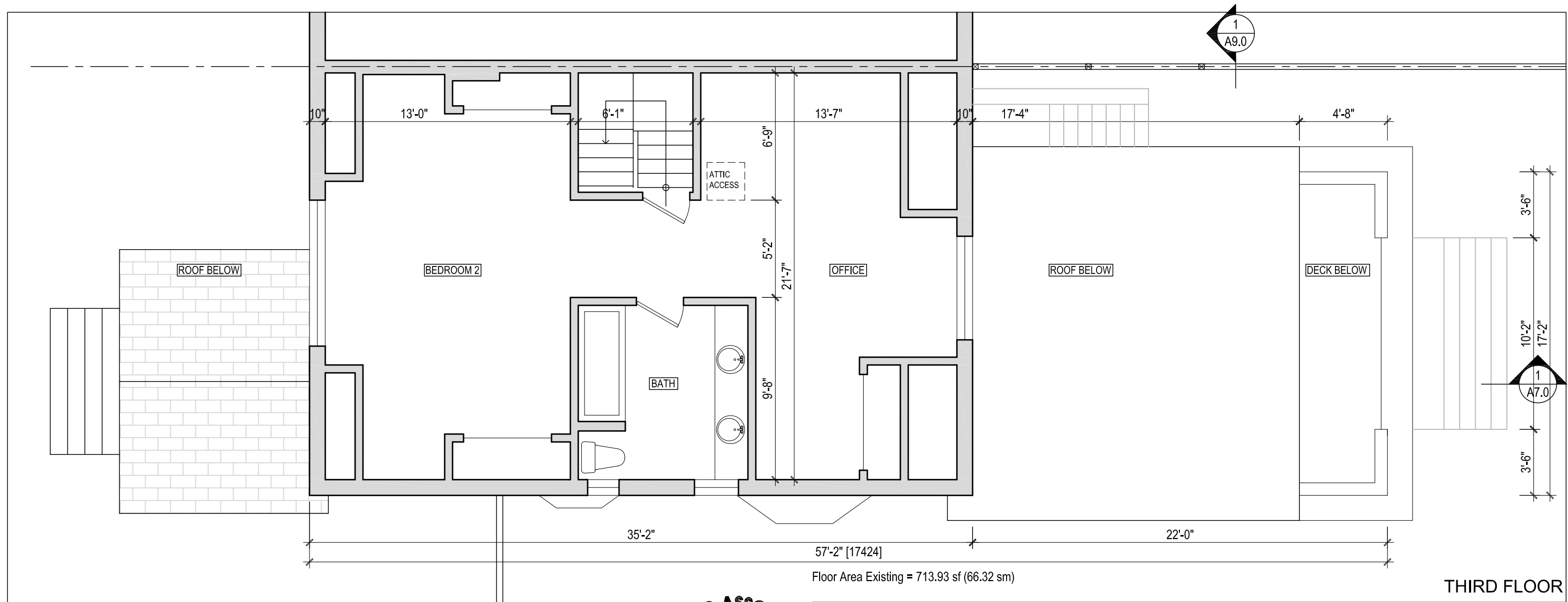
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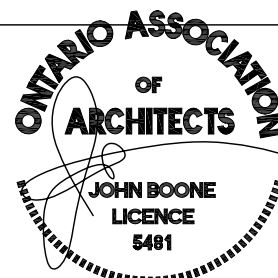
A4.2



Floor Area Existing = 713.93 sf (66.32 sm)

THIRD FLOOR

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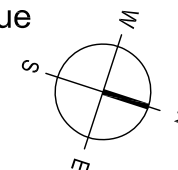


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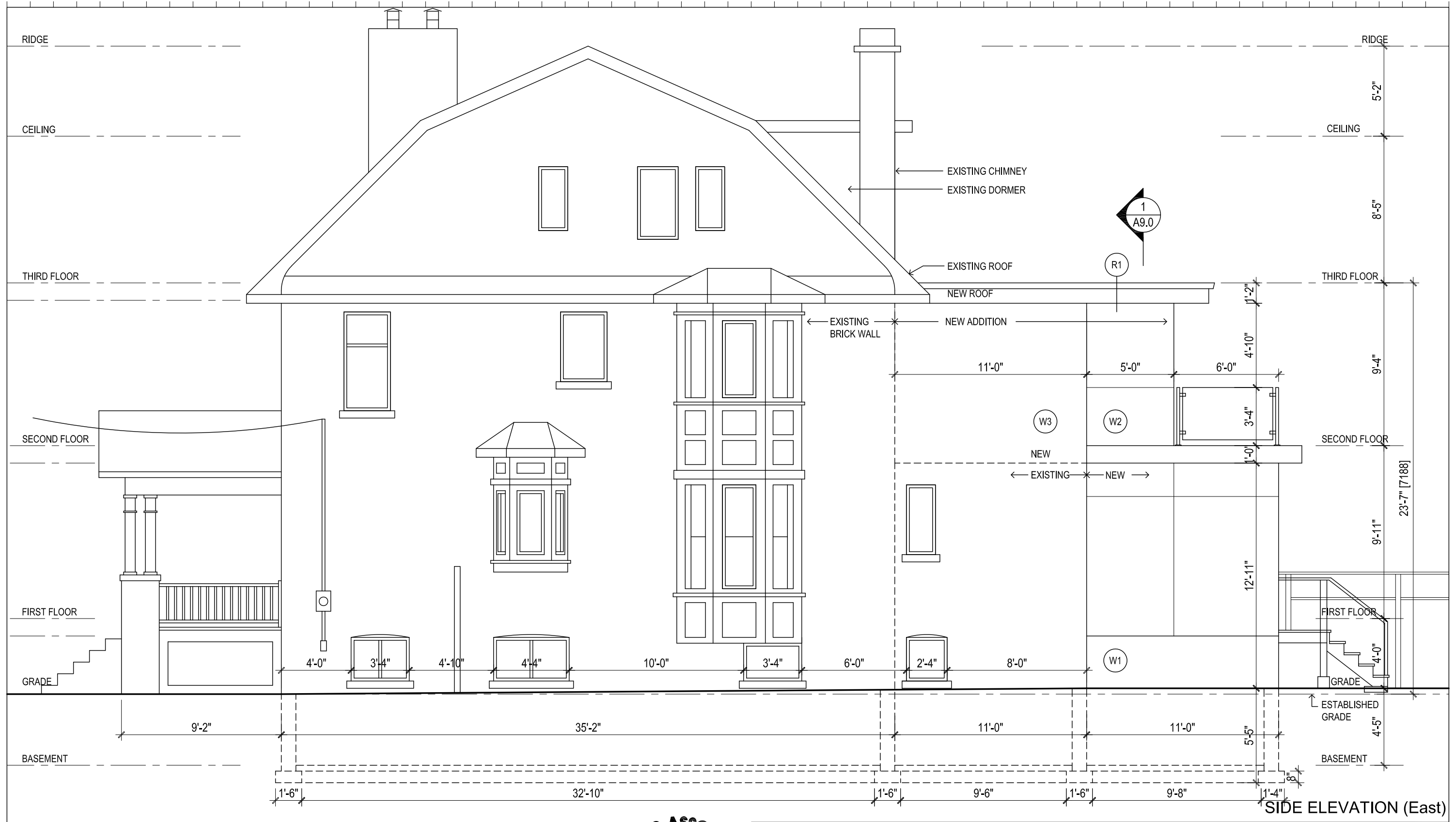
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SIDE ELEVATION (East)

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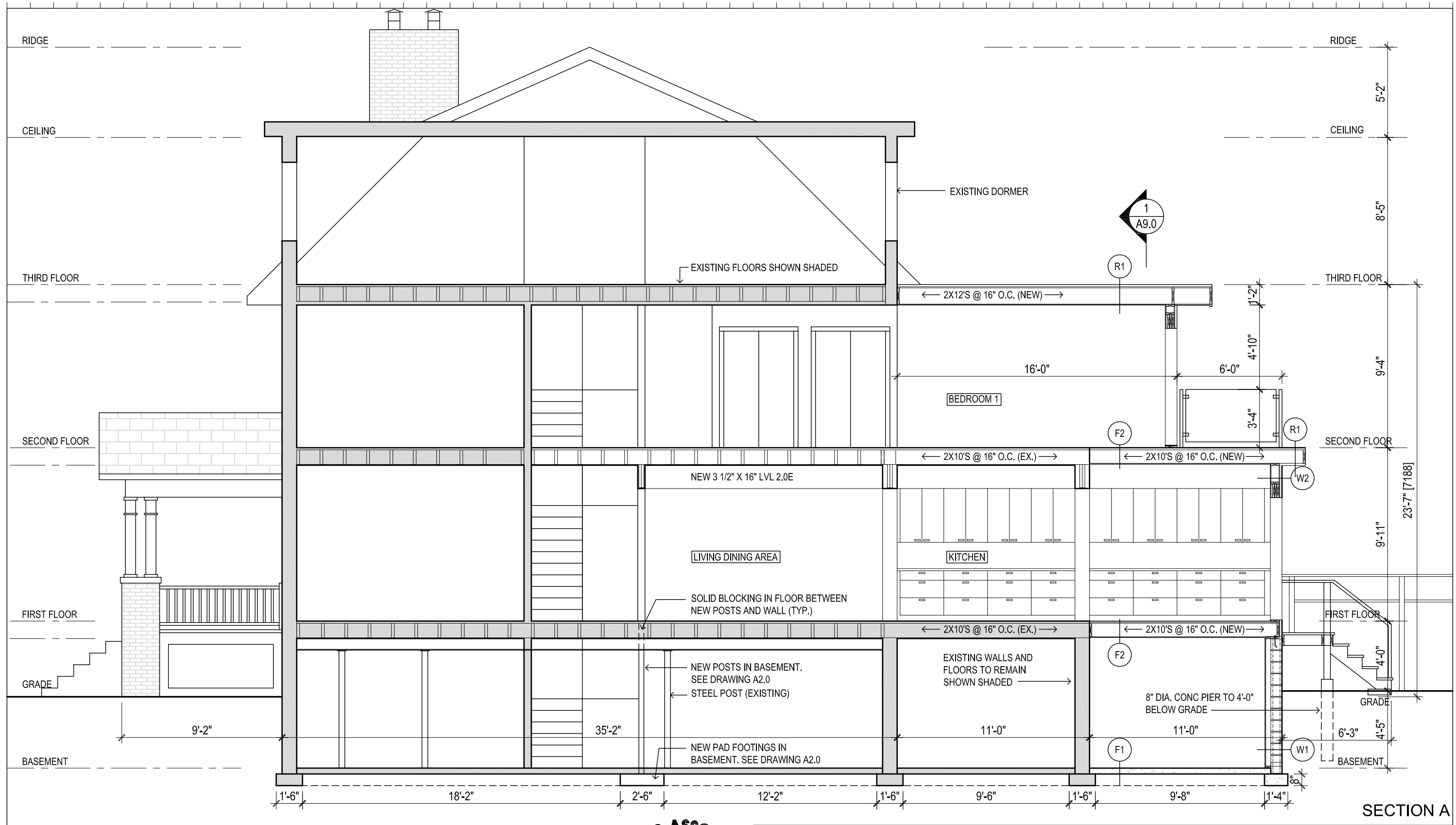
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78 Hogarth Avenue
 Toronto, Ontario

DRAWING SCALE 3/16" = 1'-0"
 PROJECT DATE August 25 2019
 PROJECT NUMBER 19A08
 DRAWN BY JB

PLOT DATE : April 19, 2021

A6.0



No.	DATE	DESCRIPTION
5	February 23, 2021	Submitted for Building Permit
4	November 27, 2020	Committee of Adjustment Approval
3	January 30, 2020	Submitted for Zoning Review
2	November 29, 2019	Submitted for Client Review
1	August 25, 2019	Project Start



jba John Boone
ARCHITECT

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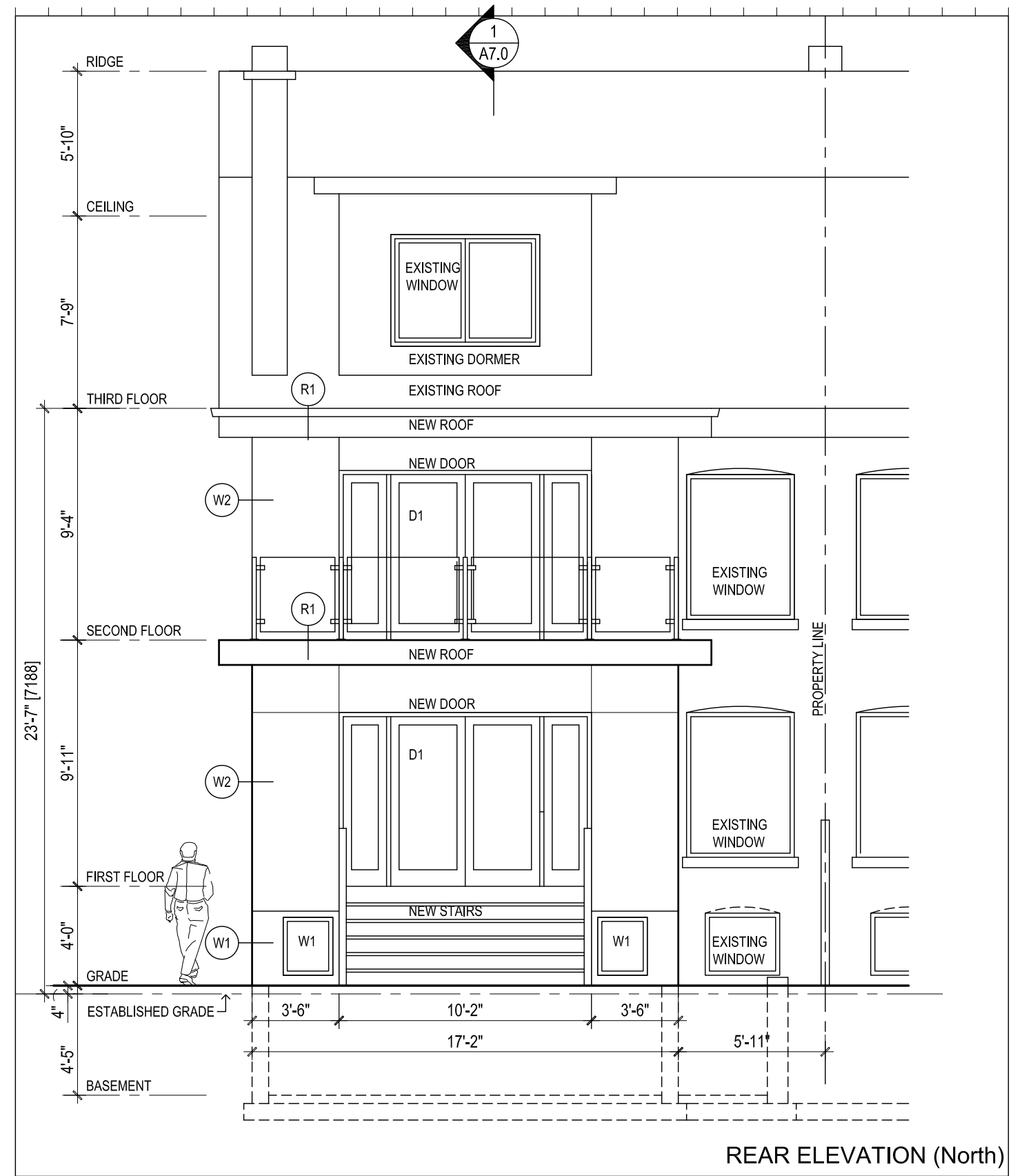
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A7.0



REAR ELEVATION (North)

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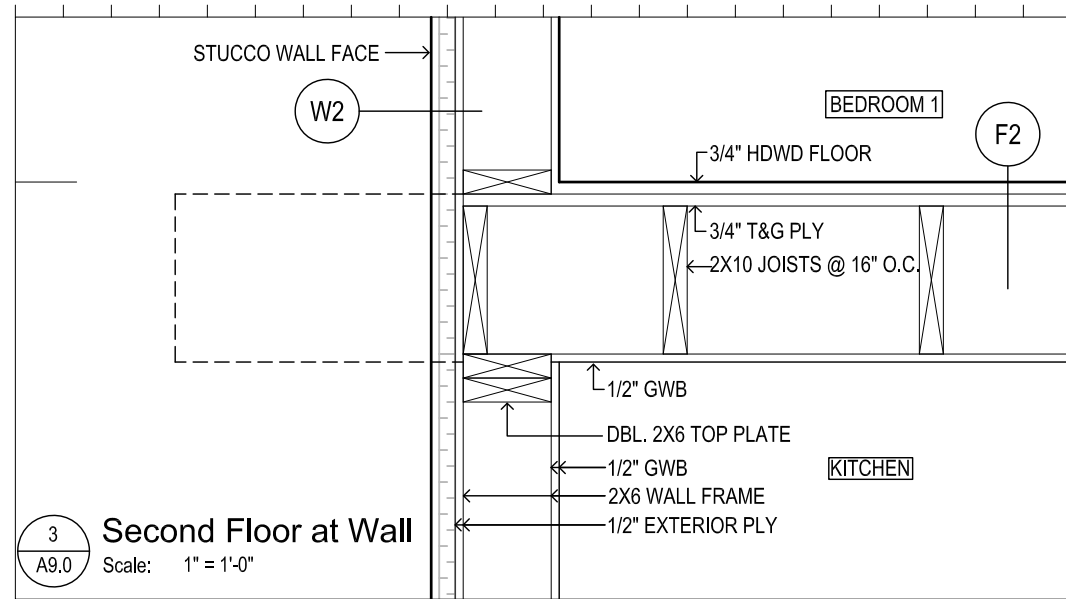
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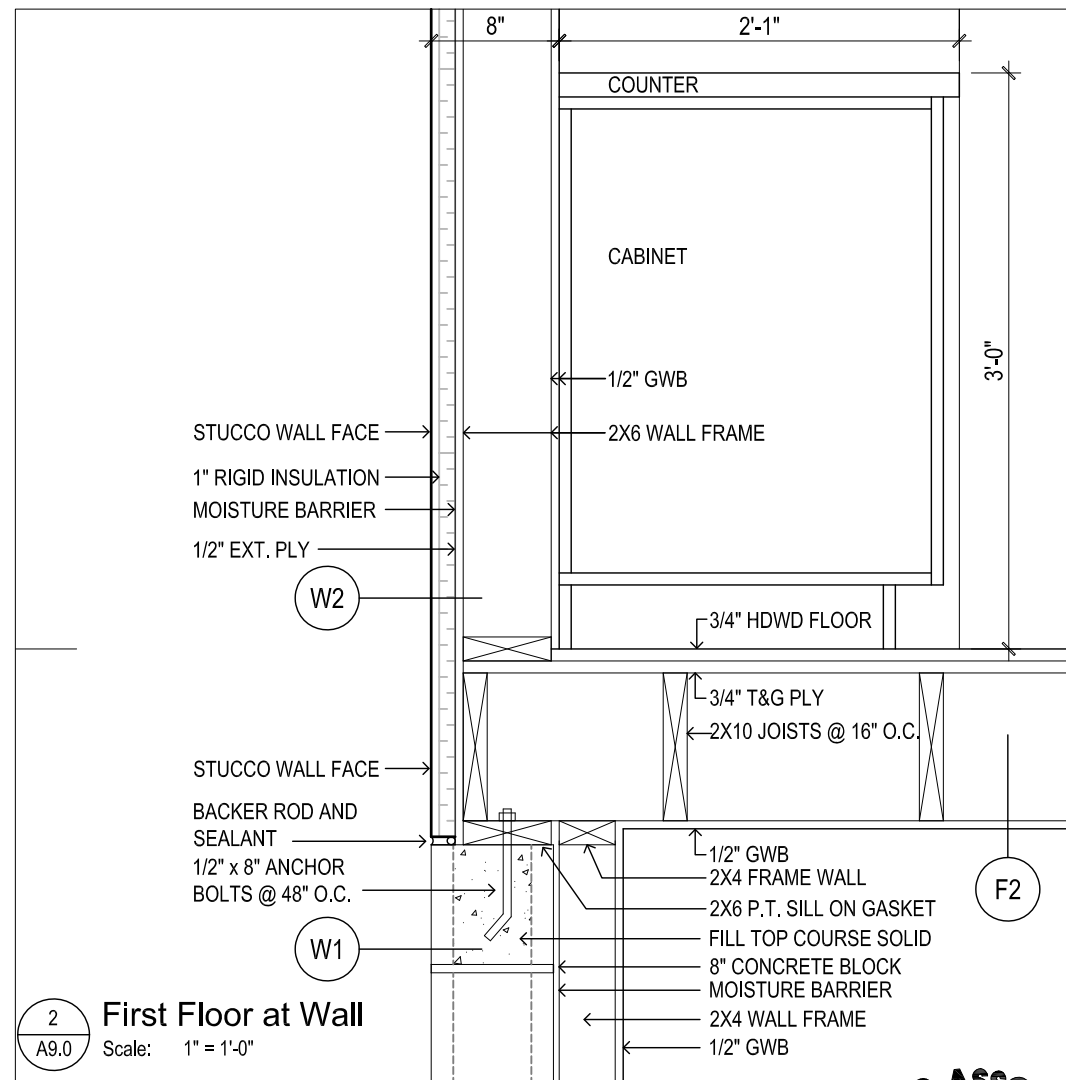
DRAWING SCALE 3/16" = 1'-0"
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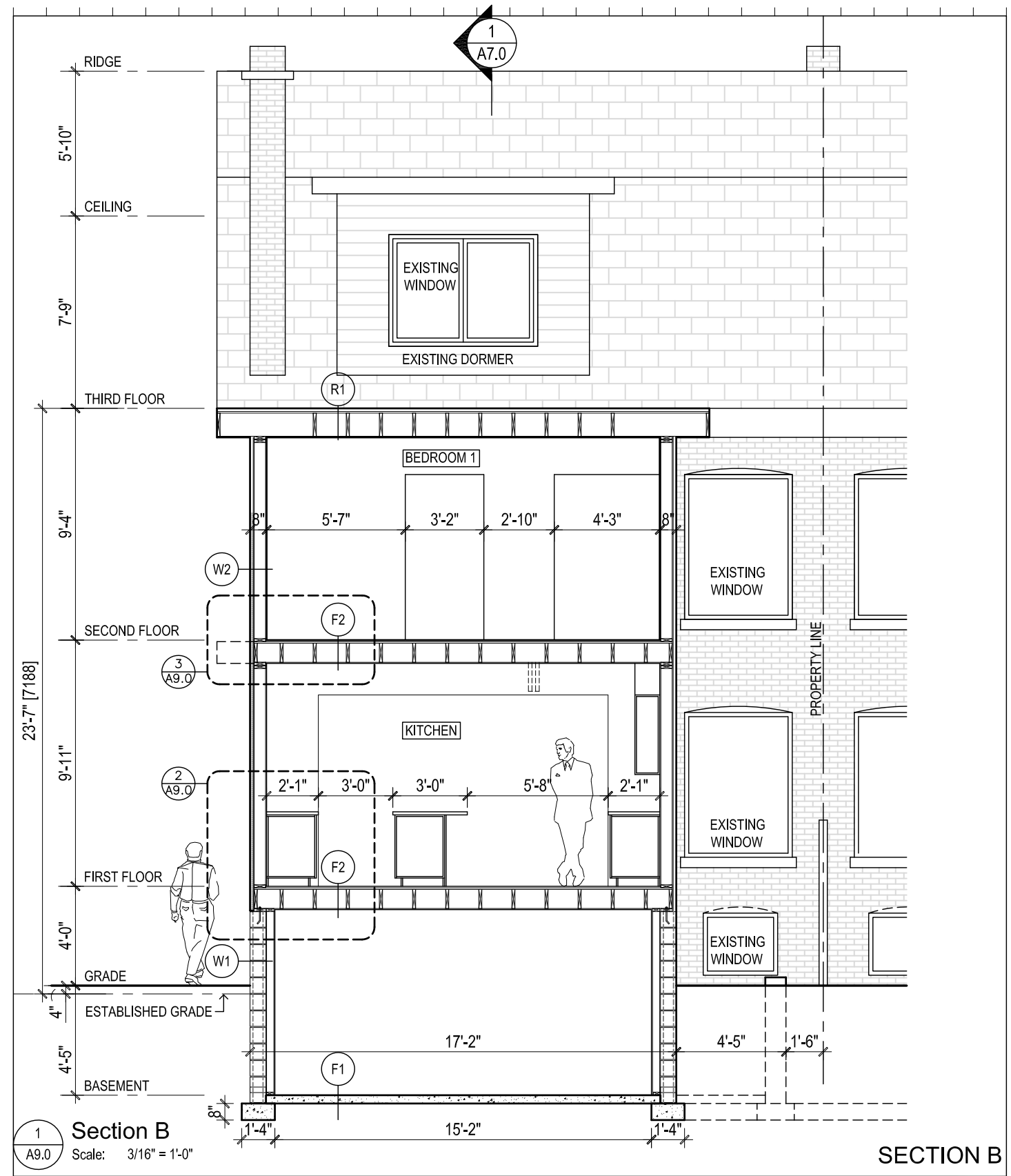
A8.0



3 Second Floor at Wall
A9.0 Scale: 1" = 1'-0"



2 First Floor at Wall
A9.0 Scale: 1" = 1'-0"



1 Section B
A9.0 Scale: 3/16" = 1'-0"

SECTION B

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A9.0